

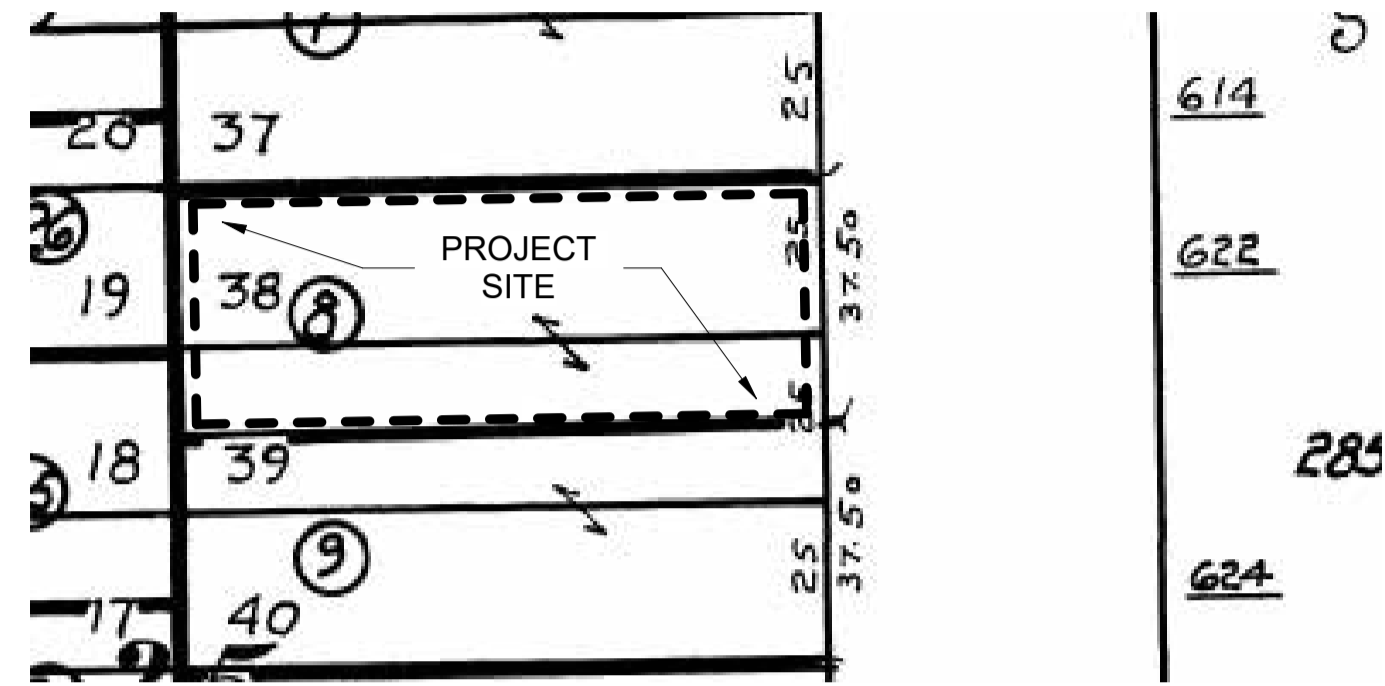
ROOF DECK PROJECT

622 SAN CARLOS AVE
ALBANY CA 94706
DESIGN REVIEW 3/12/2025

ABBREVIATIONS

AFF	ABOVE FINISHED FLOOR	(N)	NEW
ACOUS	ACOUSTICAL	NEG	NEGATIVE
ADJ	ADJUSTABLE	NOM	NOMINAL
AL	ALIGN	NIC	NOT IN CONTRACT
ALT	ALTERNATE	NTS	NOT TO SCALE
AB	ANCHOR BOLT	NO	NUMBER
APROV	APPROVED		
ARCH	ARCHITECTURAL	OC	ON CENTER
AUTO	AUTOMATIC	OD	OUTSIDE DIAMETER
		OP	OPENING
BLDG	BUILDING	OPP	OPPOSITE
BLKG	BLOCKING	ORIG	ORIGINAL
BM	BEAM		
BD	BOARD	PART	PARTITION
BO	BOTTOM OF	PP	PARTIAL PENETRATION
BS	BOTH SIDES	PAF	POWDER ACTUATED FASTENER
		PLAM	PLASTIC LAMINATE
CAB	CABINET	PL	PLATE
CBC	CALIFORNIA BUILDING CODE	PN	PLATE NAILING
CJ	CAST IRON	PLYWD	PLYWOOD
CIP	CAST IN PLACE	PT	POINT
COL	COLUMN	LB	POUND
CTR	CENTER	PRES	PRESSURE
CL	CENTER LINE		
CTC	CENTER TO CENTER	QUAL	QUALITY
CER	CERAMIC	QUAN	QUANTITY
CJ	CONSTRUCTION JOINT		
CL	CLEAR	PT	PRESSURE/ PRESERVATIVE TREATED
CMU	CONCRETE MASONRY UNIT		
CON	CONNECTION	PS	PRESTRESSED
CONT	CONTINUOUS	PART	PARTITION
CP	COMPLETE PENETRATION		
CS	COUNTERSUNK	RAD	RADIUS
CW	COLD WATER	RWL	RAIN WATER LEADER
		RECPT	RECEPTACLE
DET	DETAIL	REF	REFERENCE
DEPT	DEPARTMENT	REIN	REINFORCEMENT, REINFORCED
DIA	DIAMETER	REQ	REQUIRED
DIV	DIVISION	RDWD	REDWOOD
DR	DOOR	RH	RIGHT HAND
DBL	DOUBLE	RHR	RIGHT HAND REVERSE
DF	DOUGLAS FIR	RM	ROOM
DN	DOWN	RND	ROUND
DS	DIAGONAL SHEATHING	RO	ROUGH OPENING
DWG	DRAWING	REV	REVISION
DRWR	DRAWER		
		SS	SANITARY SEWER
(E)	EXISTING	SAD	SEE ARCHITECTURAL DRAWINGS
EA	EACH	SCD	SEE CONSULTANT DRAWINGS
EF	EACH FACE	SED	SEE ELECTRICAL DRAWINGS
EW	EACH WAY	SKD	SEE KITCHEN CONSULTANT DRAWINGS
EN	EDGE NAILING	SSD	SEE STRUCTURAL DRAWINGS
EL	ELEVATION	SMD	SEE LANDSCAPE DRAWINGS
ELEV	ELEVATOR	SFMD	SEE MECHANICAL DRAWINGS
ELEC	ELECTRICAL	SPD	SEE FINISH CARPENTRY DRAWINGS
ENG	ENGINEER	SJ	SEE PLUMBING DRAWINGS
EQ	EQUAL	SCHED	SEISMIC JOINT
EQUIP	EQUIPMENT	SECT	SCHEDULE, SCHEDULE
EX	EXHAUST	SHT	SECTION
EXP	EXPEDITE	SM	SHEET
EXT	EXTERIOR	SIM	SHEET METAL
		SP	SIMILAR
FAB	FABRICATE	SPEC	SPACE
FOC	FACE OF CONCRETE	SQ	SPECIFICATION
FOF	FACE OF FINISH	SQFT	SQUARE
FOS	FACE OF STUD	ST	SQUARE FOOT
FOW	FACE OF WALL	STAG	STRAP TIE
FIN	FINISH	SSTL	STAGGERED
FF	FINISHED FLOOR	STAND	STAINLESS STEEL
FE	FIRE EXTINGUISHER	STL	STANDARD
FA	FIRE ALARM	STOR	STEEL
FLR	FLOOR	STRUC	STORAGE
FLUOR	FLUORESCENT	SUS	STRUCTURAL
FL	FLUSH	SYM	SUSPENDED
FOUND	FOUNDATION	SYS	SYMMETRICAL SYSTEM
FTNG	FOOTING		
FR	FRAMING	TEMP	TEMPERED
FUR	FURRING	THR	THICKNESS
		TD	THREADED
GA	GAUGE	T&B	TIE DOWN
GALV	GALVANIZED, GALVANIZING	T&G	TOP AND BOTTOM
GL	GLASS, GLAZING	TOC	TONGUE AND GROOVE
GLULAM	GLUE LAMINATED BEAM	TOF	TOP OF CONCRETE
GYP BD	GYP SUM BOARD	TOS	TOP OF FINISH
		TOW	TOP OF PLATE
HVAC	HEATING VENTILATION & AIR CONDITIONING	TN	TOP OF STEEL
HSR	HIGH STRENGTH RODS	TYP	TOP OF WALL
HSB	HIGH STRENGTH BOLT		TRUE NORTH
HT	HEIGHT		TYPICAL
HD	HOLD DOWN	UL	UNDER WRITERS LABORATORY
HORIZ	HORIZONTAL	UON	UNLESS OTHERWISE NOTED
HW	HOT WATER	UTIL	UTILITY, UTILITIES
		VERT	VERTICAL
INC	INCLUDING, INCLUDED	VIF	VERIFY IN FIELD
INFO	INFORMATION	VER	VERIFY
INT	INTERIOR	VEST	VESTIBULE
JH	JOIST HANGER		
JT	JOINT	WC	WATER CLOSET
		WH	WATER HEATER
LAM	LAMINATE	W/O	WITH
LH	LEFT HAND	WD	WITH OUT
LHR	LEFT HAND REVERSE	WOOD	WOOD
LT	LIGHT		
LTW	LIGHT WEIGHT	YD	YARD
L	LONG, LENGTH		
MB	MACHINE BOLTS		
MAINT	MAINTENANCE		
MAX	MAXIMUM		
MECH	MECHANICAL		
MANF	MANUFACTURER		
MTL	METAL		
MEZZ	MEZZANINE		
MIN	MINIMUM		
MISC	MISCELLANEOUS		
MTD	MOUNTED		
MUL	MULLION		

PARCEL MAP



GRAPHIC SYMBOLS

DETAIL REFERENCE	DRAWING NUMBER	---	#	---
	SHEET NUMBER	---	#	---
DETAIL SECTION REFERENCE	DRAWING NUMBER	---	#	---
	SHEET NUMBER	---	#	---
BUILDING SECTION REFERENCE	DRAWING NUMBER	---	#	---
	SHEET NUMBER	---	#	---
WALL SECTION REFERENCE	DRAWING NUMBER	---	#	---
	SHEET NUMBER	---	#	---
EXTERIOR ELEVATION REFERENCE	DRAWING NUMBER	---	1	---
	SHEET NUMBER	---	#	---
INTERIOR ELEVATION REFERENCE	DRAWING NUMBER	---	4	---
	SHEET NUMBER	---	#	---
REVISION REFERENCE		---	#	---
DOOR REFERENCE		---	##	---
WINDOW REFERENCE		---	#	---
ELEVATION DATUM		---	●	---
ROOM NUMBER		---	###	---
PARTITION TYPE		---	#	---
FINISH CEILING HEIGHT		---	X'-X"	---

PROJECT DIRECTORY

CLIENT: CYNTHIA FORREST
622 SAN CARLOS AVE
ALBANY CA 94706

ARCHITECT: COAST ARCHITECTURE AND DESIGN
5717 VAN FLEET AVENUE
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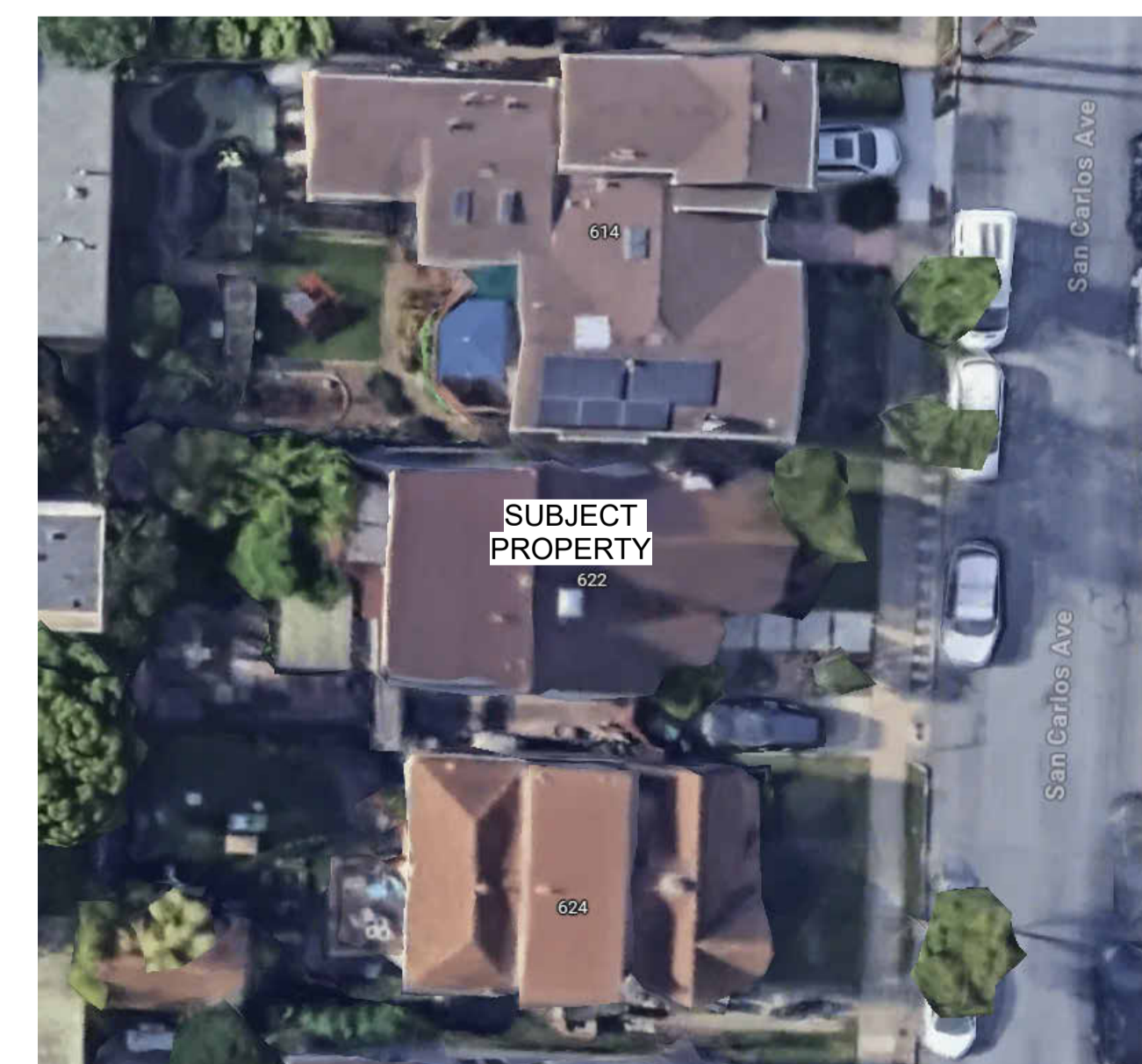
ZONING

APN: 67 2857 8

ZONING: R-1

SITE AREA: .34 ACRE

PROJECT LOCATION



SHEET LIST

SHEET LIST		
Discipline	Sheet Number	Sheet Name
GENERAL	G0.0	TITLE
ARCHITECTURAL	A101	SITE PLAN
ARCHITECTURAL	A201	FLOOR PLAN
ARCHITECTURAL	A301	EXTERIOR ELEVATIONS
ARCHITECTURAL	A403	DETAIL

PROJECT DESCRIPTION

THIS PROJECT IS THE RETROACTIVE PERMITTING OF A ROOF DECK AT THE BACK BEDROOM ON THE SECOND FLOOR OF AN EXISTING HOME.

APPLICABLE CODES:

- 2022 CALIFORNIA RESIDENTIAL CODE
- 2022 CALIFORNIA ENERGY CODE
- 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
- 2022 CALIFORNIA PLUMBING CODE
- 2022 CALIFORNIA MECHANICAL CODE
- 2022 CALIFORNIA FIRE CODE
- 2022 CALIFORNIA BUILDING CODE
- 2022 CALIFORNIA ELECTRICAL CODE
- ALBANY MUNICIPAL CODE

ALL CONSTRUCTION TO COMPLY WITH APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS PERTAINING TO SAFETY OF PERSONS, PROPERTY AND ENVIRONMENTAL PROTECTION.

PROJECT DATA

OCCUPANCY: R3

CONSTRUCTION TYPE: VB

SPRINKLERED: N

GROSS FLOOR AREA: 2,195 SF (NO CHANGE PROPOSED)

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FORREST

CONSULTANT

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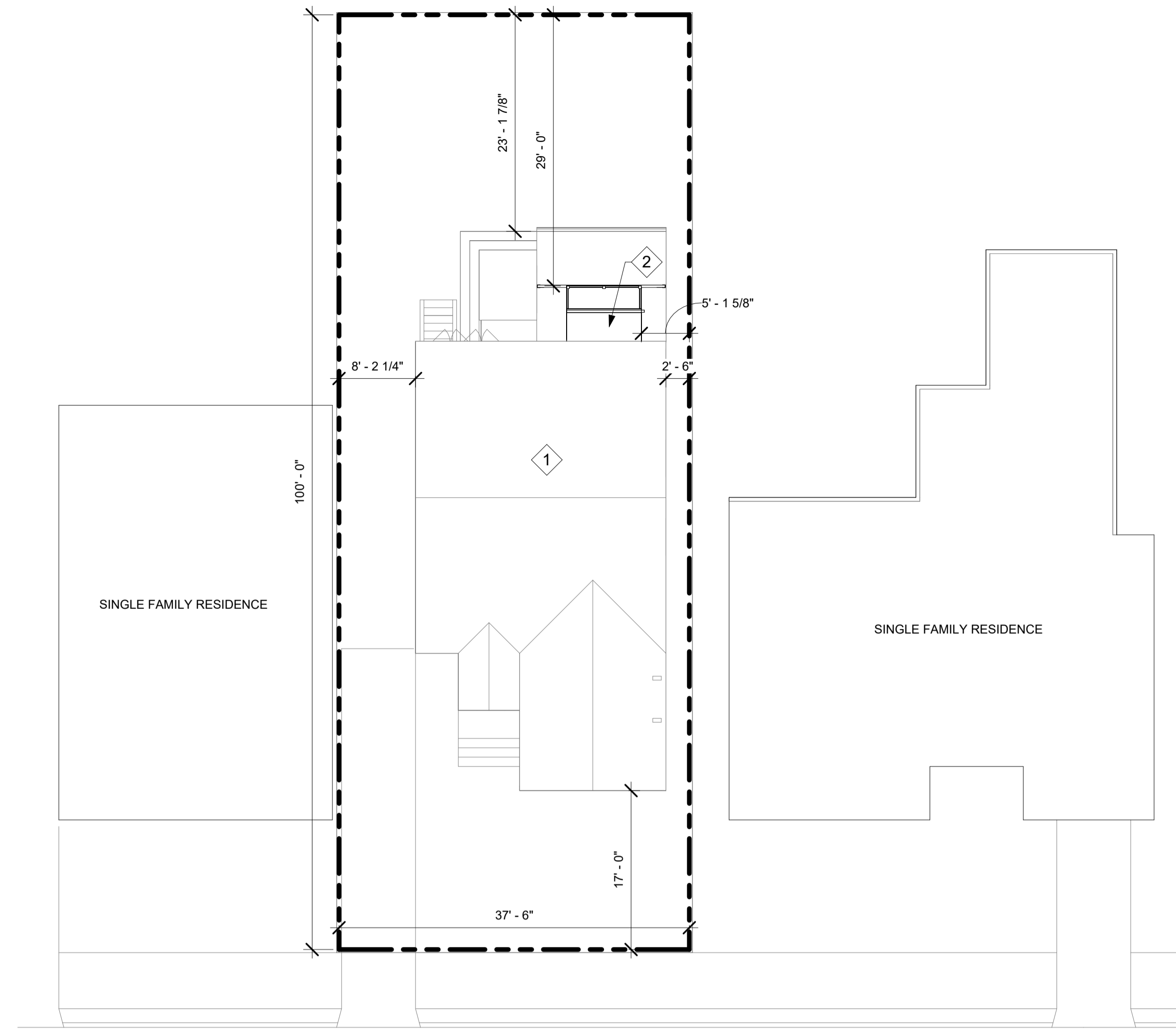
TITLE	
Project number	2504
Date	3/12/2025
Drawn by	TV
G0.0	

GENERAL NOTES

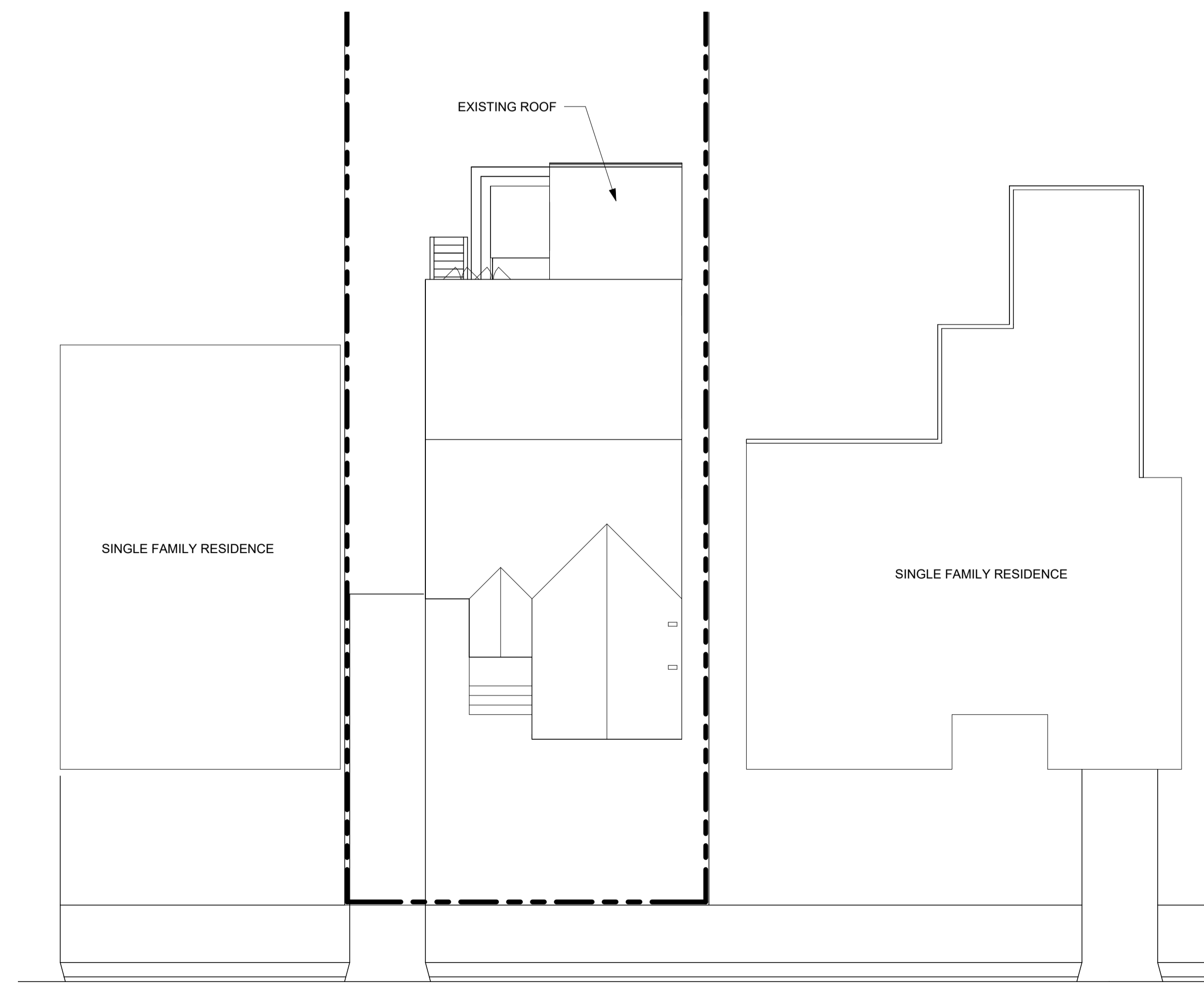
- ALL CONSTRUCTION TO CONFORM TO APPLICABLE BUILDING CODES IN PLACE DURING THE TIME OF CONSTRUCTION.
- ALL WORK SHALL CONFORM TO THE CONTRACT WHICH INCLUDES THE OWNER/CONTRACTOR AGREEMENT, THE PROJECT MANUAL (WHICH CONTAINS THE GENERAL AND SUPPLEMENTARY CONDITIONS, AND THE SPECIFICATIONS), THE DRAWINGS, AND ALL ADDENDA AND MODIFICATIONS ISSUED BY THE ARCHITECT.
- THE CONTRACTOR SHALL REVIEW ALL DOCUMENTS AND VERIFY ALL DIMENSIONS AND FIELD CONDITIONS AND SHALL CONFIRM THAT WORK IS BUILDABLE AS SHOWN PRIOR TO SUBMITTING COST PROPOSAL. ANY CONFLICT OR OMISSIONS, ETC. SHALL BE IMMEDIATELY REPORTED TO THE OWNER FOR CLARIFICATION PRIOR TO THE PERFORMANCE OF ANY WORK IN QUESTION. FAILURE TO REPORT CONFLICT OR OMISSIONS WILL NOT RESULT IN ADDITIONAL COSTS TO OWNER.
- IN CASE OF CONFLICT BETWEEN ARCHITECT'S AND CONSULTANTS' DRAWINGS IN LOCATING MATERIALS/EQUIPMENT, THE ARCHITECT SHOULD BE CONTACTED.
- THE ARCHITECT HAS NO KNOWLEDGE OF AND SHALL NOT BE HELD LIABLE FOR ANY HAZARDOUS MATERIALS ON THE JOBSITE. IF ANY HAZARDOUS MATERIALS ARE DISCOVERED DURING CONSTRUCTION THE CONTRACTOR SHALL ISOLATE THE AFFECTED AREA AND CONTACT THE OWNER FOR FURTHER INSTRUCTIONS BEFORE PROCEEDING.
- ALL WORK SHALL BE PERFORMED DURING REGULAR BUSINESS HOURS WHENEVER POSSIBLE AND CONFORM TO BUILDING'S RULES AND REGULATIONS. WORK INVOLVING EXCESSIVE NOISE OR DUST, OR WHICH WOULD OTHERWISE INTERFERE WITH THE NORMAL OPERATION OF THE FACILITY SHALL BE DONE ON AN OVERTIME, NON-REGULAR BUSINESS HOUR BASIS TO BE COORDINATED WITH THE OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY OF ALL UTILITIES DETERMINED, IN THE COURSE OF CONSTRUCTION, AS BEING NECESSARY TO BE REMOVED, WHICH HAVE NOT OTHERWISE BEEN NOTED FOR REMOVAL IN THE CONSTRUCTION DOCUMENTS. CONTRACTOR SHALL REMOVE SUCH UTILITIES ONLY AFTER CONSULTATION WITH ARCHITECT AND OWNER'S REPRESENTATIVE. WHETHER PREDETERMINED IN THE CONSTRUCTION DOCUMENTS OR DETERMINED LATER IN FIELD, DISCONNECT, CUT BACK TO SOURCE, AND CAP ALL UTILITY SERVICES REMOVED. SEAL ALL PENETRATIONS CREATED BY REMOVAL OF UTILITIES TO MATCH ADJACENT CONSTRUCTION AND FINISHES.
- "ALIGN" SHALL MEAN TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLACE.
- "TYPICAL" OR "TYP" SHALL MEAN THAT THE CONDITION IS REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, UNLESS OTHERWISE NOTED. DETAILS ARE USUALLY KEYED AND NOTED "TYP" ONLY ONCE, WHEN THEY FIRST OCCUR.
- "SIMILAR" OR "SIM." MEANS COMPARABLE CHARACTERISTICS FOR THE CONDITIONS NOTED. VERIFY DIMENSIONS AND ORIENTATIONS ON PLANS AND ELEVATIONS.
- COMPLY WITH APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS PERTAINING TO SAFETY OF PERSONS, PROPERTY AND ENVIRONMENTAL PROTECTION.
- WORK AREAS ARE TO REMAIN CLEAR, SECURE AND LOCKABLE DURING CONSTRUCTION. CONTRACTOR SHALL COORDINATE TO ENSURE SECURITY.
- REMOVE FROM SITE AND LEGALLY DISPOSE OF DAILY ALL REFUSE, DEBRIS, RUBBISH, AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS OR CONSTRUCTION. BURNING OF DEBRIS ON SITE SHALL NOT BE PERMITTED. CONTRACTOR SHALL LEAVE THE PREMISES AND ALL AFFECTED AREAS CLEAN AND IN AN ORDERLY MANNER READY FOR MOVE IN AT THE END OF THE PROJECT. THIS SHALL INCLUDE CLEANING OF ALL INTERIOR AND EXTERIOR GLASS AND FRAMES, BOTH NEW AND EXISTING.
- THE CONTRACTOR SHALL OBTAIN ALL PERMITS AND INSPECTIONS AND COMPLY WITH ALL CODES, LAWS, ORDINANCES, RULES AND REGULATIONS OF ALL PUBLIC AUTHORITIES (FEDERAL, STATE, LOCAL) GOVERNING THE WORK. THE MOST STRINGENT ORDINANCES, RULES AND REGULATIONS SHALL APPLY.
- THE CONTRACT DOCUMENTS ARE COMPLEMENTARY. WHAT IS SHOWN OR REFERED TO ON ANY SHALL BE PROVIDED AS THOUGH SHOWN ON ALL.
- SUBSTITUTIONS, REVISION OR CHANGES MUST BE SUBMITTED TO OWNER FOR REVIEW (IN CONFORMANCE WITH SPECIFIED PROCEDURES) PRIOR TO PURCHASE, FABRICATION OR INSTALLATION OR OWNER WILL NOT BE LIABLE FOR PAYMENT.

GENERAL NOTES

- REMOVE TOOLS AND EQUIPMENT FROM SITE UPON COMPLETION OF WORK. LEAVE CONTRACT AREAS AND SITE CLEAN, ORDERLY AND IN CONDITION ACCEPTABLE FOR NEW OR OTHER CONSTRUCTION.
- ALL WORK SHALL BE COORDINATED WITH THE OWNER'S REPRESENTATIVE INCLUDING SCHEDULING TIME AND LOCATIONS FOR DELIVERIES, BUILDING ACCESS, BUILDING FACILITIES DURING ALL PHASES OF WORK. MINIMUM DISTURBANCE OF EXISTING BUILDING FUNCTIONS AND OCCUPANTS IS ESSENTIAL.
- THE SCOPE OF WORK AND ADJACENT AREAS SHALL BE PROTECTED FROM ANY DAMAGE THAT OCCURS BECAUSE OF THIS WORK. ANY DAMAGE THAT OCCURS SHALL BE THE FINANCIAL RESPONSIBILITY OF THE CONTRACTOR.
- ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED, ERECTED, CLEANED AND CONDITIONED PER MANUFACTURER'S INSTRUCTIONS. IN CASE OF DIFFERENCES BETWEEN THE MANUFACTURER'S INSTRUCTIONS AND THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE OWNER BEFORE PROCEEDING.
- ALL WORK NOTED "BY OTHERS" OR "N.I.C." SHALL BE PROVIDED BY OWNER OR UNDER SEPARATE CONTRACT. INCLUDE SCHEDULE REQUIREMENTS FOR THIS "OTHER" WORK IN CONSTRUCTION PROGRESS SCHEDULE AND COORDINATE AS REQUIRED TO ASSURE ORDERLY SEQUENCE OF INSTALLATION.
- CONTRACTOR SHALL CONFIRM DURING THE PRICING PERIODS ON-SITE DELIVERY DATES OF ALL MATERIALS SPECIFIED IN THE CONTRACT DOCUMENTS AND IMMEDIATELY NOTIFY THE OWNER IN WRITING OF POTENTIAL DELAYS TO THE COMPLETION OF THE PROJECT. IF THE CONTRACTOR FAILS TO ORDER MATERIALS IN SUFFICIENT TIME FOR ORDERLY INSTALLATION, THE OWNER WILL NOT ENTERTAIN ANY REQUESTS FOR MATERIAL SUBSTITUTION.
- PRESERVE AND MAINTAIN EXISTING EXITS DURING DEMOLITION AND CONSTRUCTION PHASES.
- ALL WORK SHALL MEET FEDERAL, STATE, AND LOCAL BUILDING CODES AND ORDINANCES IN EFFECT AT THE TIME OF CONSTRUCTION IN ADDITION TO ADA REQUIREMENTS.
- ALL MECHANICAL, ELECTRICAL, AND PLUMBING LOCATIONS SHOWN ON PLANS ARE FOR DESIGN INTENT ONLY.
- THE CONTRACTOR SHALL SUBMIT TO THE OWNER FOR APPROVAL, A DETAILED CONSTRUCTION SCHEDULE SHOWING PHASING OF WORK AND MECHANICAL OR ELECTRICAL DISRUPTIONS TO BUILDING SERVICES.
- PROVIDE LOCK BOX AS REQUIRED BY FIRE INSPECTOR.
- ALL SEAMS, GAPS, CRACKS, AND CREVICES IN MILLWORK, TRIM, KITCHEN EQUIPMENT ATTACHED TO WALLS, BASE TILE, ETC. ARE TO BE COMPLETELY FILLED WITH CLEAR SILICONE TO OWNER'S APPROVAL.
- ALL DIMENSIONS ARE TO FACE OF FINISH U.O.N.
- DO NOT SCALE DRAWINGS, WRITTEN DIMENSIONS GOVERN ALL PARTITION LOCATIONS. IN CASE OF UNCLARITY OR CONFLICT, NOTIFY ARCHITECT BEFORE PROCEEDING. FLOOR PLAN BY ARCHITECT SUPERCEDES OTHER PLANS. VERIFY EXACT LOCATIONS IN FIELD.
- ALL DOOR OPENINGS OFFSET FROM PERPENDICULAR WALL 3" OR CENTERED IN SPACE, U.O.N.
- THE CONTRACTOR SHALL REVIEW ALL DOCUMENTS AND VERIFY ALL DIMENSIONS AND FIELD CONDITIONS AND SHALL CONFIRM THAT WORK IS BUILDABLE AS SHOWN. ANY CONFLICTS OR OMISSIONS, ETC., SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT FOR CLARIFICATION PRIOR TO PERFORMANCE OF ANY WORK IN QUESTION.
- THE CONTRACTOR SHALL COORDINATE ALL WORK WITH MECHANICAL, ELECTRICAL, PLUMBING, FIRE-PROTECTION, AND DESIGN/BUILD CONTRACTORS AND SUBMIT ALL DRAWINGS TO THE ARCHITECT FOR REVIEW PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE SUBMITTALS FOR ALL SHOP DRAWINGS, FOR FABRICATED ITEMS, CATALOG CUTS OF ALL FIXTURES AND EQUIPMENT, AND SAMPLES OF ALL FINISHES CALLED FOR TO THE ARCHITECT FOR APPROVAL TWO (2) WEEKS PRIOR RELEASE FOR FABRICATION / PURCHASING.
- WHERE INDICATED, REFER TO ENLARGED PLANS FOR WALL TYPES, DIMENSION, SPOT ELEVATIONS AND DETAIL REFERENCES
- PROVIDE REQUIRED PROTECTION FOR THROUGH PENETRATION AND MEMBRANE PENETRATIONS OF FIRE-RESISTANCE-RATED WALL ASSEMBLIES (CBC 714.3) AND RESISTANCE RATED FLOOR/CEILING HORIZONTAL ASSEMBLIES (CBC 714.4)



2 SITE PLAN
1" = 10'-0"



1 SITE PLAN EXISTING
1" = 10'-0"

SHEET NOTES

- CUT & PATCH EXISTING PAVING AS REQUIRED FOR NEW WORK.
- SITE PLAN SHOWN FOR REFERENCE ONLY. NO NEW SITE WORK IS PROPOSED AS A PART OF THIS WORK.

KEYNOTES

- 1 EXISTING HOME LOCATION, TO REMAIN
- 2 PROPOSED ROOF DECK PER PLANS



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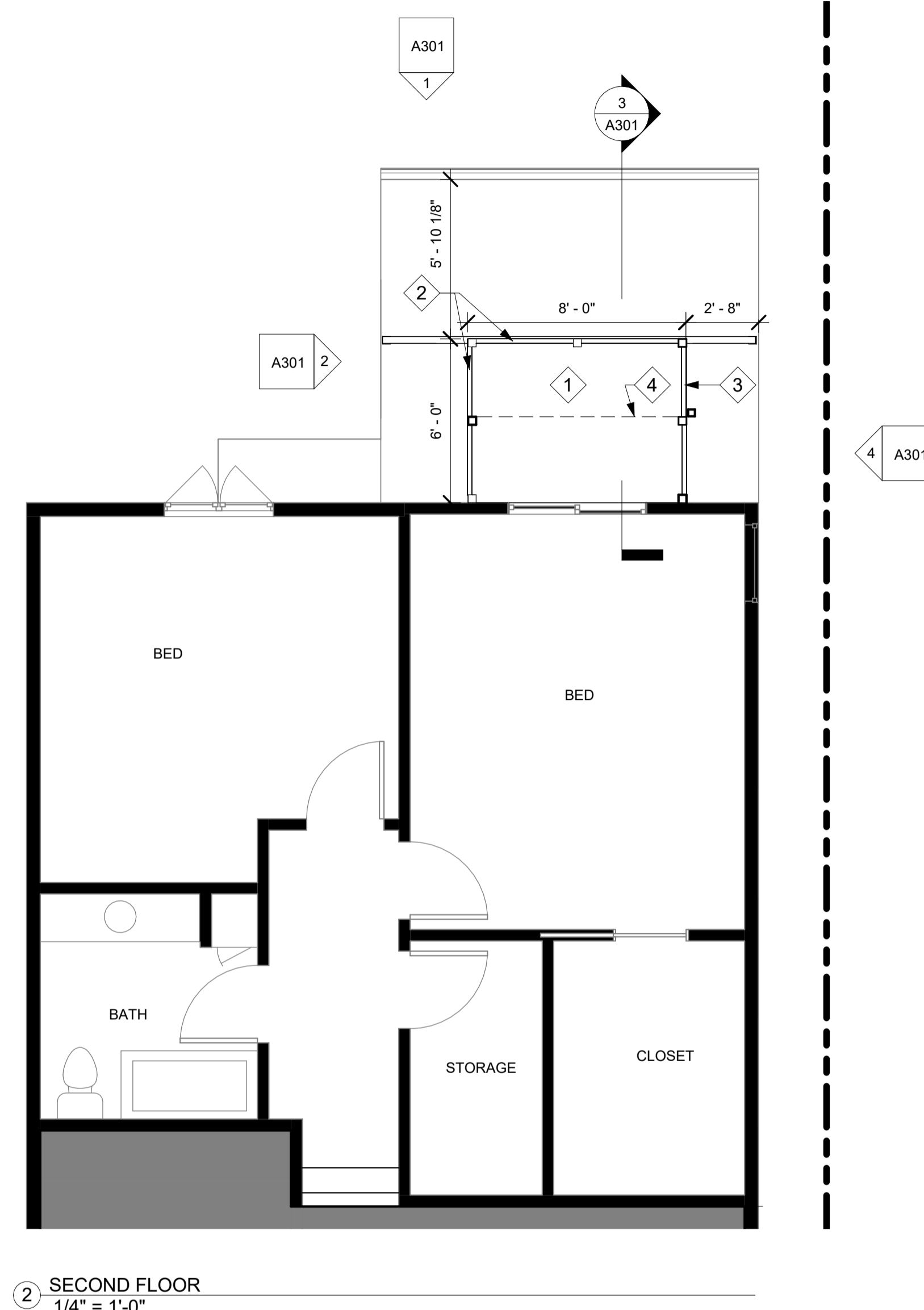
SITE PLAN

Project number	2504
Date	3/12/2025
Drawn by	TV

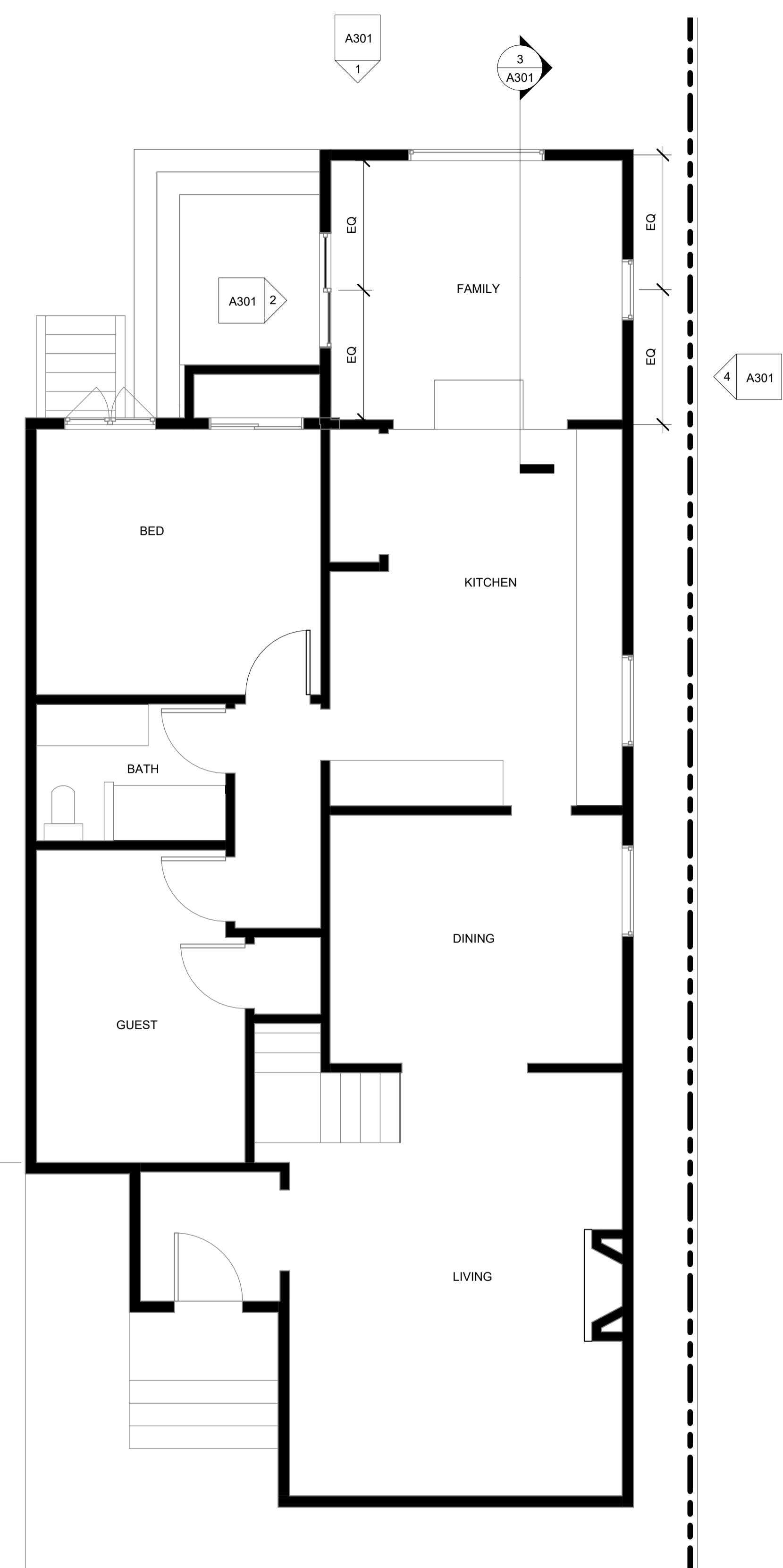
A101

FLOOR PLAN SHEET NOTES

1. GROUND FLOOR PLAN SHOWN FOR REFERENCE ONLY.
2. REFER TO STRUCTURAL DRAWINGS FOR MORE INFORMATION



② SECOND FLOOR
1/4" = 1'-0"

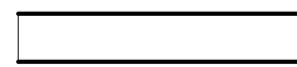


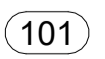



① PROPOSED GROUND FLOOR
1/4" = 1'-0"

FLOOR PLAN KEYNOTES

- ① NEW ROOF DECK AND BEAM, SSD FOR MORE INFORMATION
- ② 42" HIGH WOOD RAIL
- ③ 60" HIGH PRIVACY WOOD RAIL, THIS SIDE ONLY
- ④ CANOPY OVER WOOD DECK PER ELEVATIONS AND DETAILS

FLOOR PLAN LEGEND

-  NEW UNRATED RATED CONSTRUCTION
-  EXISTING WALL
-  AREA NOT IN CONTRACT
-  101 DOOR TAG
-  x KEYNOTE

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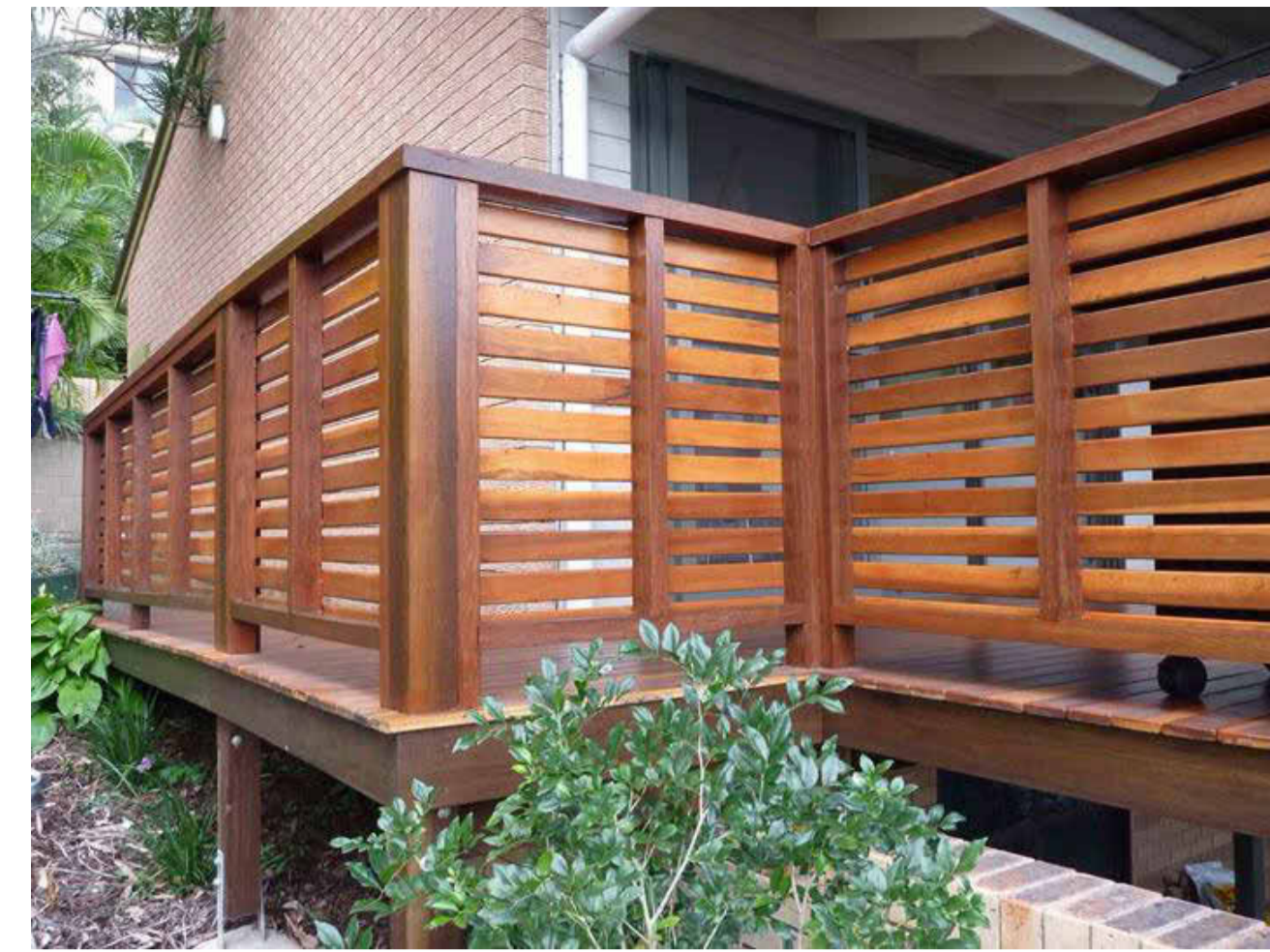
FLOOR PLAN

Project number	2504
Date	3/12/2025
Drawn by	Author

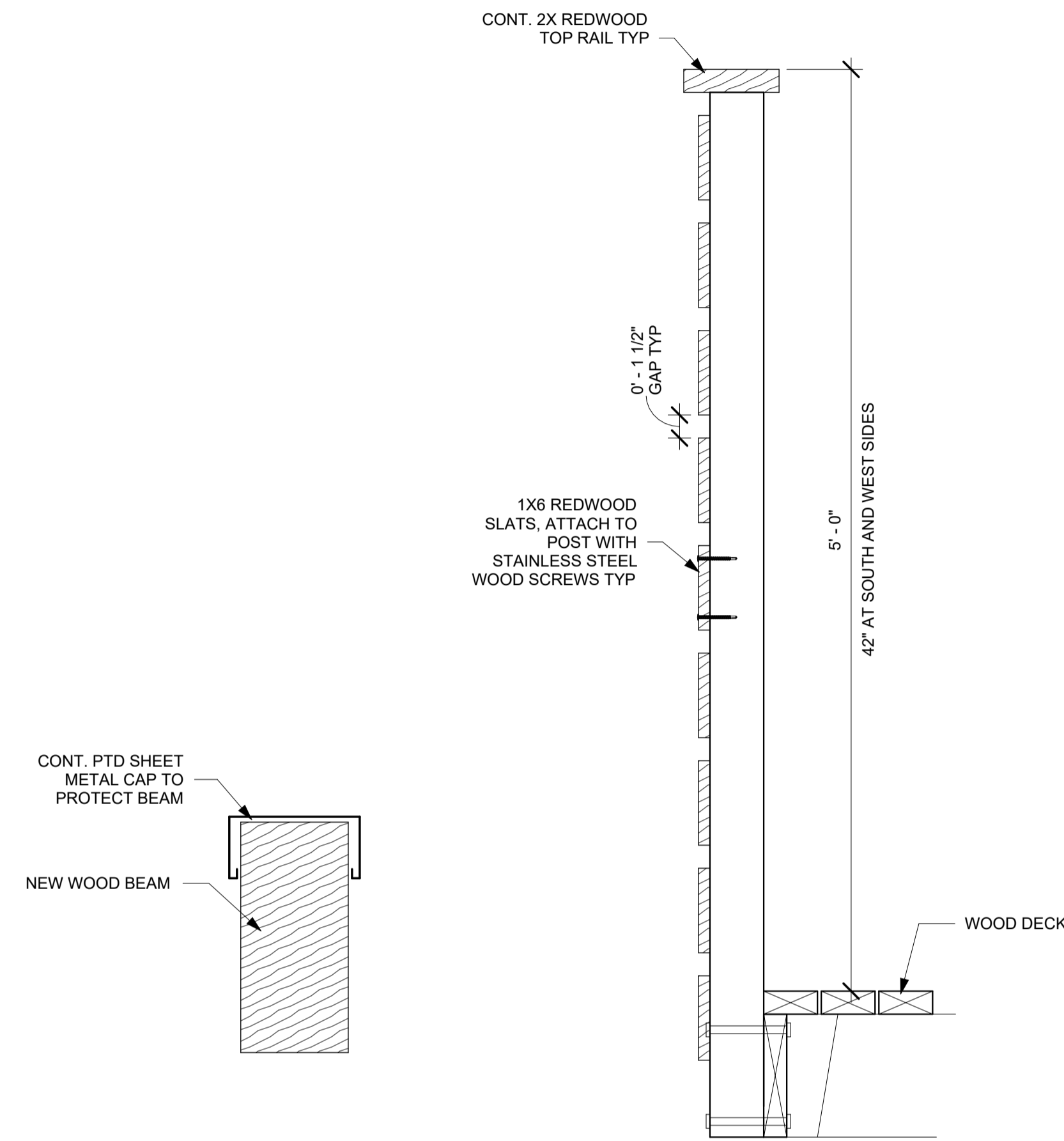
A201

ELEVATION KEYNOTES

1. EXISTING ELEVATIONS ARE SHOWN FOR REFERENCE ONLY.
2. SEE STRUCTURAL DRAWINGS FOR MORE INFORMATION
3. ALL EXTERIOR WOOD SHALL BE PRESSURE TREATED OR REDWOOD AND SEALED

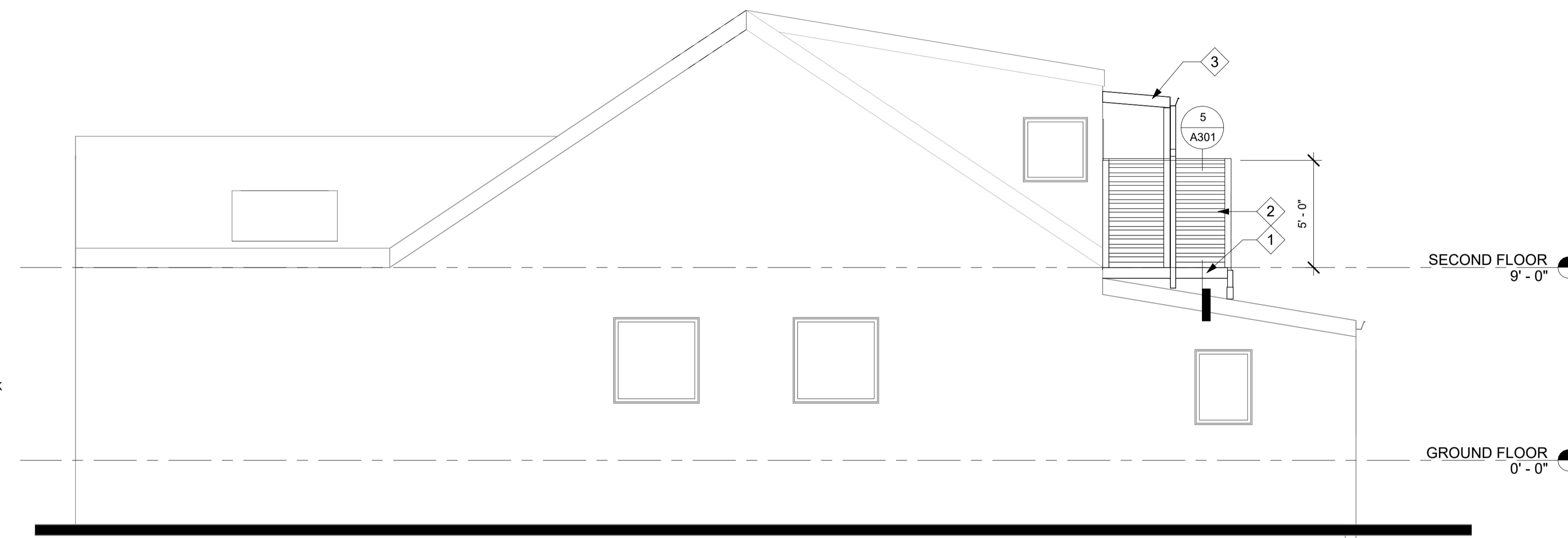


EXAMPLE IMAGE OF WOOD SLAT RAILING



6 BEAM DETAIL
3" = 1'-0"

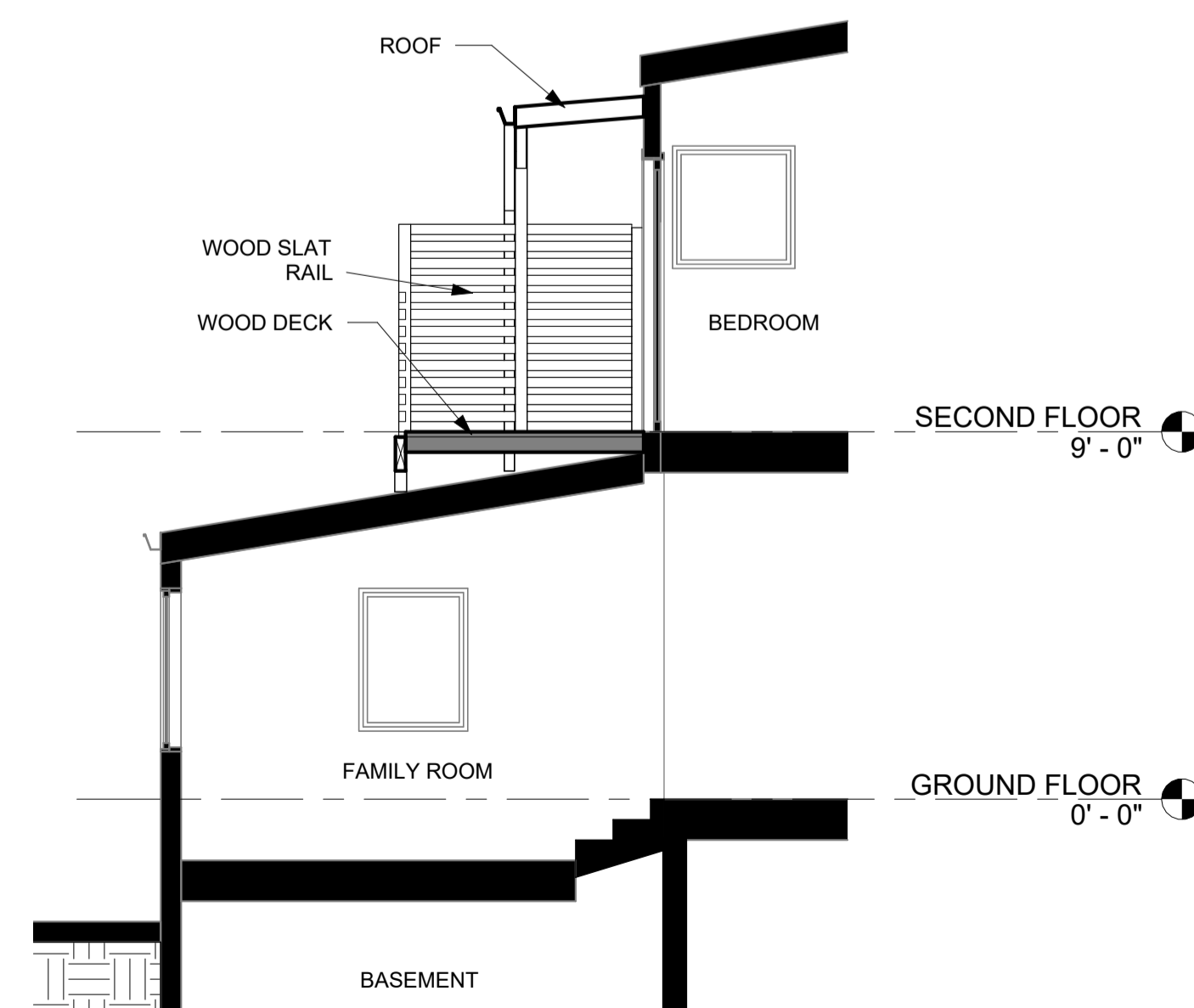
5 RAIL DETAIL
1 1/2" = 1'-0"



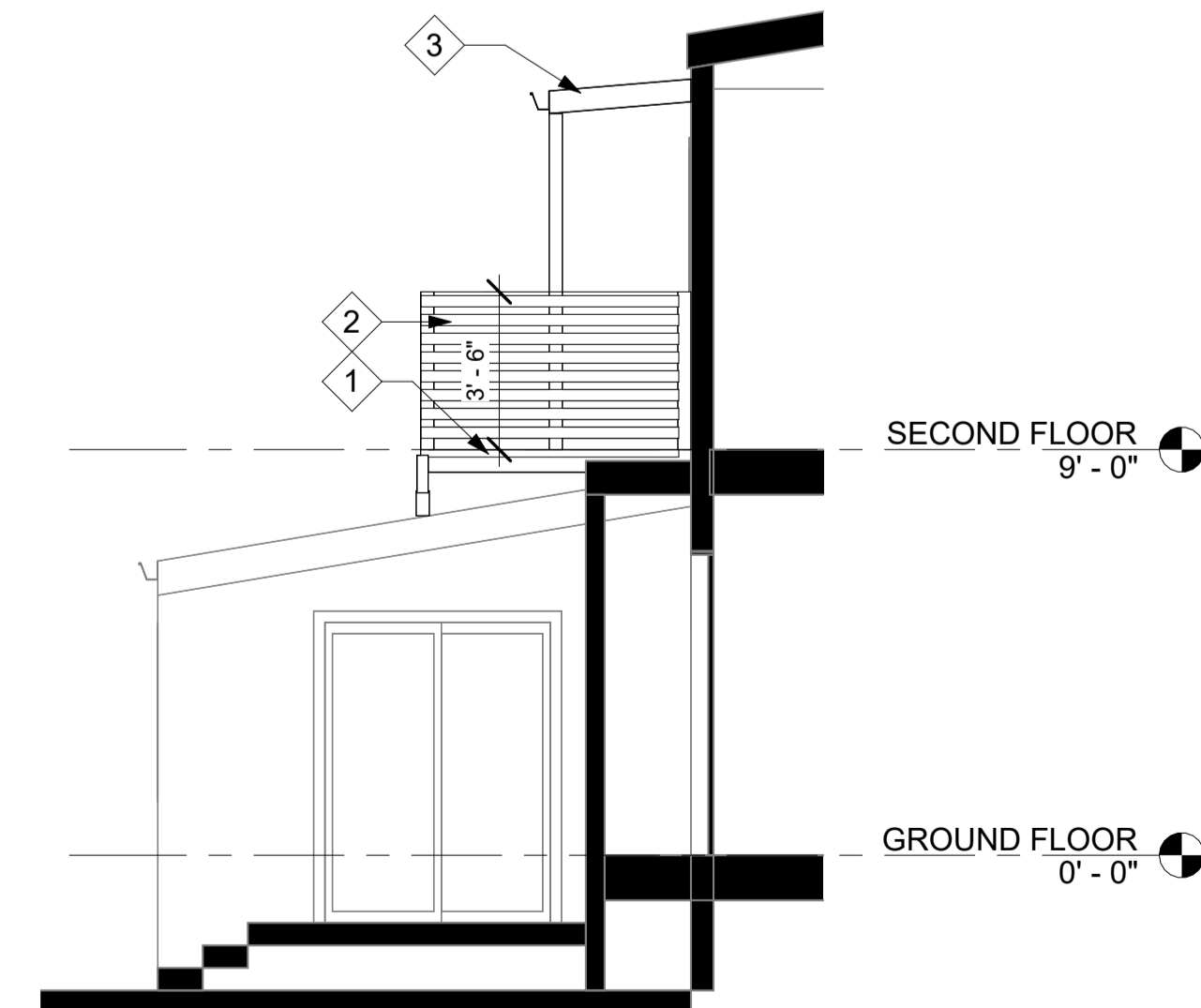
4 NORTH ELEVATION
1/4" = 1'-0"

ELEVATION KEYNOTES

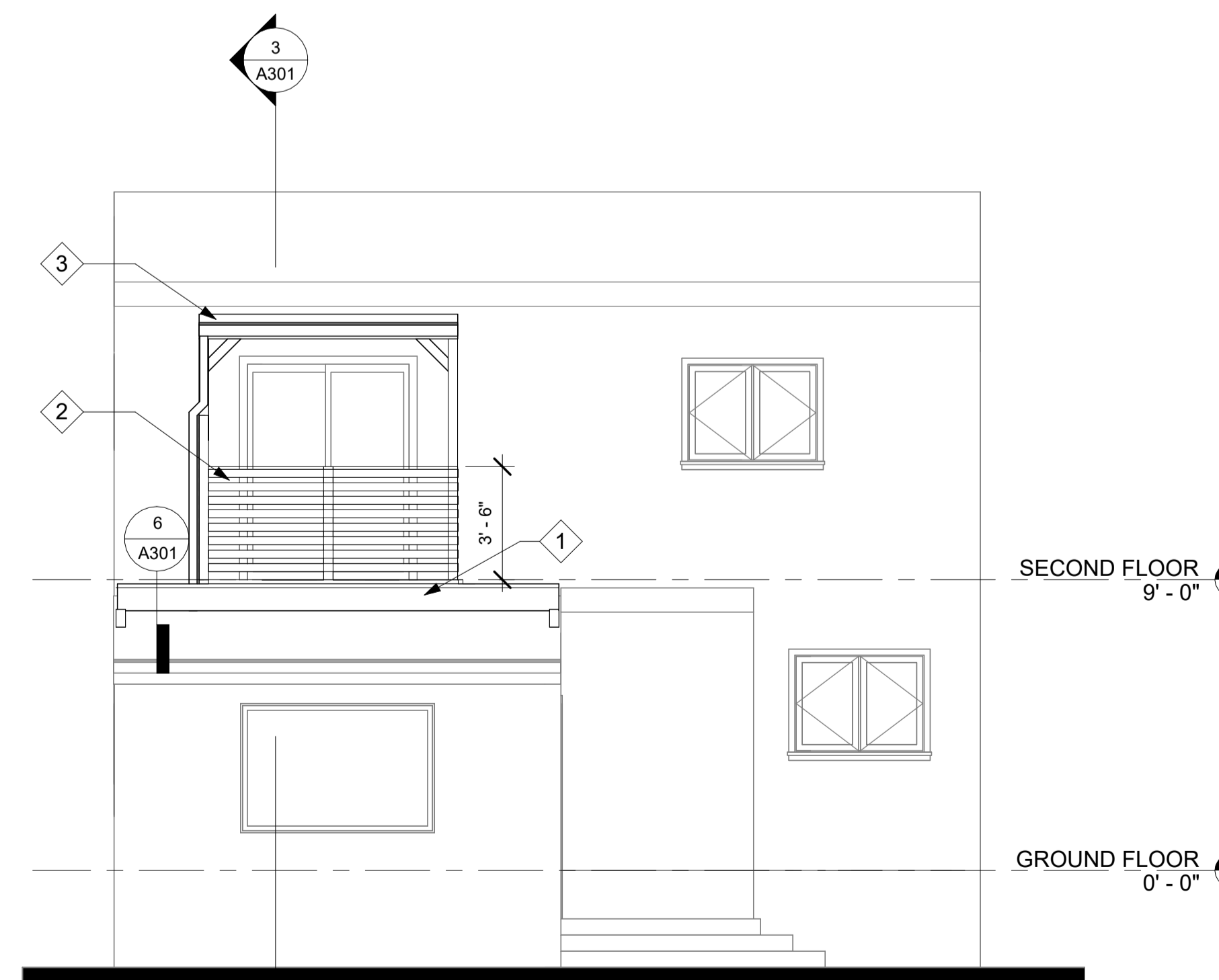
- 1 NEW WOOD DECK AND BEAM, SSD FOR MORE INFORMATION
- 2 WOOD GUARDRAIL
- 3 NEW WOOD FRAMED CANOPY WITH SINGLE ROOF, PTD GUTTER AND DOWNSPOUT TO ROOF BELOW



3 Section 2
1/4" = 1'-0"

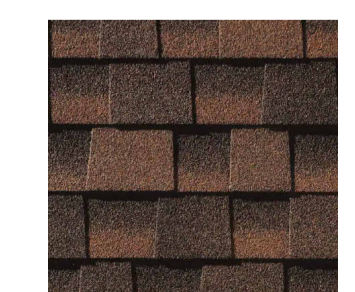


2 SOUTH ELEVATION
1/4" = 1'-0"

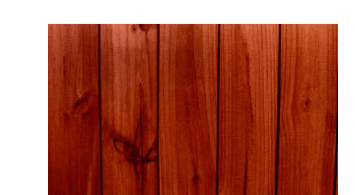


1 WEST ELEVATION
1/4" = 1'-0"

EXTERIOR MATERIALS



COMPOSITE SHINGLE TO MATCH HOUSE



SEALED EXTERIOR GRADE WOOD

CONSULTANT

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No.	Description	Date

EXTERIOR ELEVATIONS

Project number 2504
Date 3/12/2025
Drawn by Author

A301