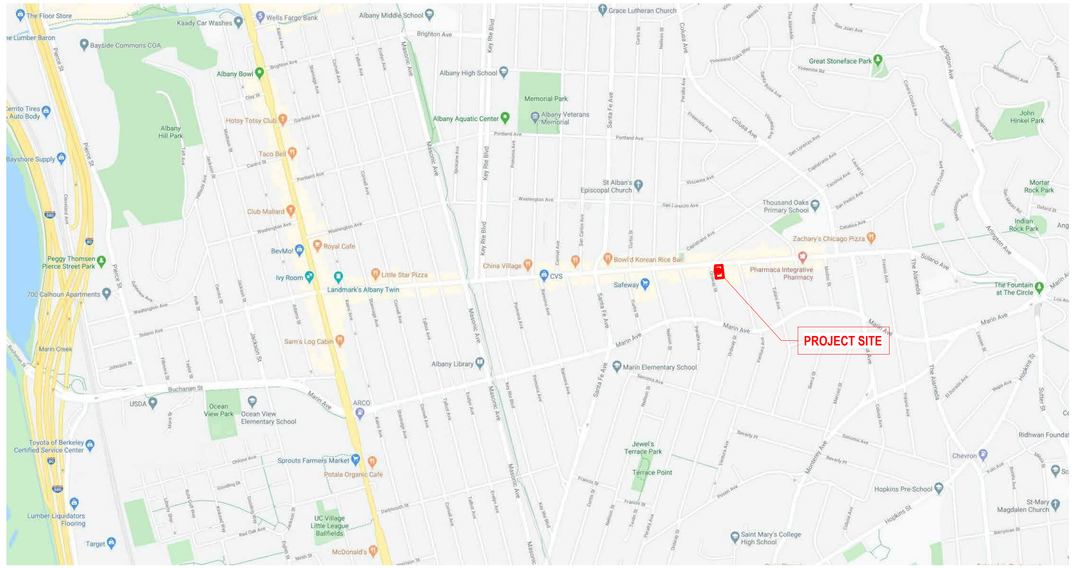
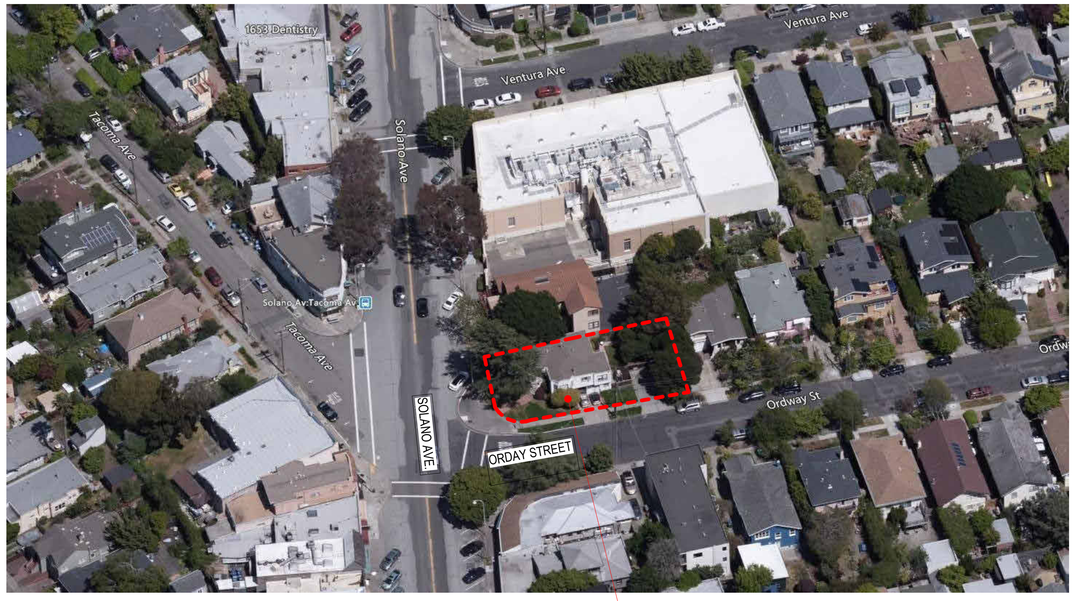
VICINITY MAP



VICINITY BIRD-EYE VIEW



PLANNING INFORMATION		
APN:	65-2625-1	
LOT AREA:	5,127 SF	
	ALLOWED/REQUIRED	**PROPOSED**
DENSITY:	(63) UNITS PER ACRE, (7.4 UNITS ALLOWED)	(12) UNITS
FAR:	1.25 (1.25 x 5.127 SF = 6,408 SF ALLOWED)	19,201 SF 19,201/5,127 = 3.75 FAR
BUILDING HEIGHT:	35'-0" MAX.	45'-0" (TO ROOF) 49'-0" (TO TOP OF PARAPET)
OPEN SPACE:	200 SF PER UNIT (3,600 SF TOTAL)	961 SF TOTAL
PARKING:	(1) PER UNIT, (1) PER 200 SF OF OFFICE (MEDICAL) = (27) TOTAL	(2) TOTAL
BICYCLE PARKING:	(1) PER UNIT, (1) PER 1,500 SF OF OFFICE (MEDICAL) = (14) TOTAL	(24) RACKS and (1) CARGO BIKE SPACE
SETBACK: FRONT: REAR: SIDE (INTERIOR) SIDE (CORNER LOT)	 15' - 0" 0' - 0" 0' - 0" 15' - 0"	 0' - 0" 0' - 0" 0' - 0" 0' - 0"

RESIDENTIAL UNIT BREAKDOWN BY FLOOR

UNIT NUMBER	UNIT TYPE	TOTAL NET AREA
2ND FLOOR		
UNIT 1	.2 BEDROOM	1,204 SF
UNIT 3	.2 BEDROOM	739 SF
UNIT 2	.2 BEDROOM	938 SF
UNIT 4	.1 BEDROOM	545 SF
3RD FLOOR		
UNIT 5	.2 BEDROOM	1,204 SF
UNIT 7	.2 BEDROOM	739 SF
UNIT 6	.2 BEDROOM	937 SF
UNIT 8	.1 BEDROOM	545 SF
4TH FLOOR		
UNIT 9	.2 BEDROOM	1,161 SF
UNIT 11	.2 BEDROOM	739 SF
UNIT 10	.2 BEDROOM	938 SF
UNIT 12	.1 BEDROOM	545 SF
TOTAL: 12		10,236 SF

TOTAL GROSS BUILDING AREA BY FLOOR

FAR	
BASEMENT	2,770 SF
1ST FLOOR	3,882 SF
2ND FLOOR	4,191 SF
3RD FLOOR	4,201 SF
4TH FLOOR	4,157 SF
TOTAL FLOOR AREA	19,201 SF

- TOTAL FLOOR AREA EXCLUDES USABLE OPEN SPACE, STAIRS AND ELEVATORS ABOVE GROUND FLOOR.
- INCLUDES PARKING AREA ENCLOSED BY TWO OR MORE WALLS, ANY COVERED AREA BELOW THE FIRST FLOOR IF HEIGHT IS GREATER THAN 5 FEET

FAR PROPOSED:

19,201 SF (TOTAL)
19,201 / 5,127 = 3.75 FAR (375%)

OPEN SPACE- PRIVATE VS COMMON

COMMON	961 SF
PRIVATE	37 SF
TOTAL OPEN SPACE	998 SF

USABLE OPEN SPACE

COMMON:
ROOF DECK COUNTED TOWARDS COMMON USABLE OPEN SPACE TOTAL (961 SF)
TWO COURTYARDS ON 1ST FLOOR ARE NOT COUNTED BECAUSE THEY DO NOT MEET THE MINIMUM DIMENSION OF 15 FEET

PRIVATE:
ONE BALCONY AT THE 4TH FLOOR COUNTED TOWARDS PRIVATE USABLE OPEN SPACE TOTAL (37 SF)
ALL OTHER BALCONIES DO NOT MEET THE MINIMUM DIMENSION OF 4 FEET OR THE MINIMUM AREA OF 36 SF

DRAWING INDEX

NET AREA BY PROGRAM

.1 BEDROOM	1,636
.2 BEDROOM	8,600
CIRCULATION	140
CIRCULATION/ LOUNGE	1,673
COMMERCIAL	2,753
COURTYARD	222
LOBBY	323
OPEN SPACE	998
PARKING	1,324
SERVICES	875
STAIR/ELEV	948
TOTAL SF	19,491

PROJECT SUMMARY

EMPLOYING THE STATE'S DENSITY BONUS, THE PROPOSED PROJECT IS TO BE BUILT ON SITE AT THE CORNER OF ORDWAY ST. AND SOLANO AVE. THE SITE IS 5,127 SQUARE FEET. THE PROJECT IS COMPRISED OF A BASEMENT THAT HAS A LOBBY FACING WEST, PARKING THAT ENCOMPASSES 2 STALLS, AND A TRASH ROOM AND ELECTRIC ROOM LOCATED IN THE BASEMENT, AS WELL AS 16 PARKING SLOTS FOR BICYCLES. THE FIRST FLOOR CONTAINS 2,753 SQ. FT. FOR MEDICAL SERVICES. THE ENTRANCE FROM SOLANO ALLOWS FOR ENTRY AND ADDITIONAL CIRCULATION TO THE UPPER FLOOR RESIDENTIAL UNITS. FLOOR 2-4 ARE OCCUPIED BY RESIDENTIAL UNITS. THERE IS A TOTAL OF 12 UNITS. THE ROOF CONTAINS A 961 SQ. FT. ROOF DECK FACING WEST.

OWNER

DR. LEILA KASROVI
15 SELBORNE DR
BERKELEY, CA 94611
LEILAKASROVI@AOL.COM

ARCHITECT

KAVA MASSIH ARCHITECTS
KAVA MASSIH
920 GRAYSON ST.
BERKELEY, CA 94710
PH: (510)644-1920 FAX: (510)644-1929

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COVER SHEET

(@ 22" x 34")
08/10/2021

1600 SOLANO MIXED USE | 1600 SOLANO AVE
ALBANY, CA 94707

A0.0

KAVA MASSIH ARCHITECTS
920 Grayson Street I Berkeley, CA 94710
95 Federal Street I San Francisco, CA 94107

KMA PROJECT NO. 2018

CORNER OF SOLANO AVE. AND ORDWAY ST.

RETAIL STORES ON SOLANO AVE.

OAK TREE NEXT TO PROJECT SITE

CORNER OF SOLANO AVE. AND VENTURA AVE.

NEIGHBORING PROPERTY

OFFICE BUILDING ON SOLANO AVE.

SITE PHOTOGRAPHS

(@ 22" x 34")
08/10/2021

1600 SOLANO MIXED USE | 1600 SOLANO AVE
ALBANY, CA 94707

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KAVA MASSIH ARCHITECTS
920 Grayson Street I Berkeley, CA 94710
95 Federal Street I San Francisco, CA 94107
KMA PROJECT NO. 2018

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PLANNING INFORMATION		
APN:	65-2625-1	
LOT AREA:	5,127 SF	
	ALLOWED/REQUIRED	**PROPOSED**
DENSITY:	(63) UNITS PER ACRE, (7.4 UNITS ALLOWED)	(12) UNITS
FAR:	1.25 (1.25 x 5.127 SF = 6,408 SF ALLOWED)	19,201 SF 19,201/5,127 = 3.75 FAR
BUILDING HEIGHT:	35'-0" MAX.	45'-0" (TO ROOF) 49'-0" (TO TOP OF PARAPET)
OPEN SPACE:	200 SF PER UNIT (3,600 SF TOTAL)	961 SF TOTAL
PARKING:	(1) PER UNIT, (1) PER 200 SF OF OFFICE (MEDICAL) = (27) TOTAL	(2) TOTAL
BICYCLE PARKING:	(1) PER UNIT, (1) PER 1,500 SF OF OFFICE (MEDICAL) = (14) TOTAL	(24) RACKS and (1) CARGO BIKE SPACE
SETBACK: FRONT: REAR: SIDE (INTERIOR) SIDE (CORNER LOT)	 15' - 0" 0' - 0" 0' - 0" 15' - 0"	 0' - 0" 0' - 0" 0' - 0" 0' - 0"

RESIDENTIAL UNIT BREAKDOWN BY FLOOR

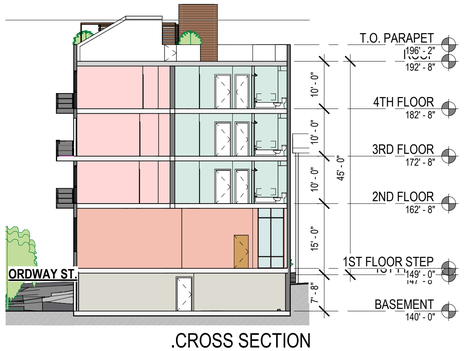
UNIT NUMBER	UNIT TYPE	TOTAL NET AREA
2ND FLOOR		
UNIT 1	.2 BEDROOM	1,204 SF
UNIT 3	.2 BEDROOM	739 SF
UNIT 2	.2 BEDROOM	938 SF
UNIT 4	.1 BEDROOM	545 SF
3RD FLOOR		
UNIT 5	.2 BEDROOM	1,204 SF
UNIT 7	.2 BEDROOM	739 SF
UNIT 6	.2 BEDROOM	937 SF
UNIT 8	.1 BEDROOM	545 SF
4TH FLOOR		
UNIT 9	.2 BEDROOM	1,161 SF
UNIT 11	.2 BEDROOM	739 SF
UNIT 10	.2 BEDROOM	938 SF
UNIT 12	.1 BEDROOM	545 SF
TOTAL: 12		10,236 SF

DENSITY BONUS CONCESSIONS REQUESTED:

1. REDUCED PARKING REQUIREMENTS

DENSITY BONUS WAIVERS REQUESTED:

1. FAR INCREASE
2. HEIGHT INCREASE
3. REDUCED OPEN SPACE REQUIREMENT
4. REDUCED SETBACK REQUIREMENTS



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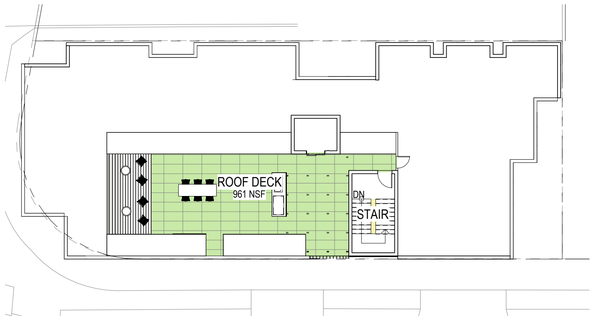
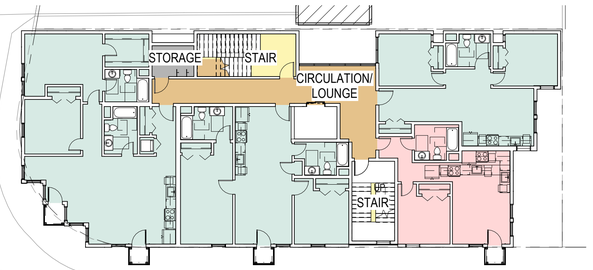
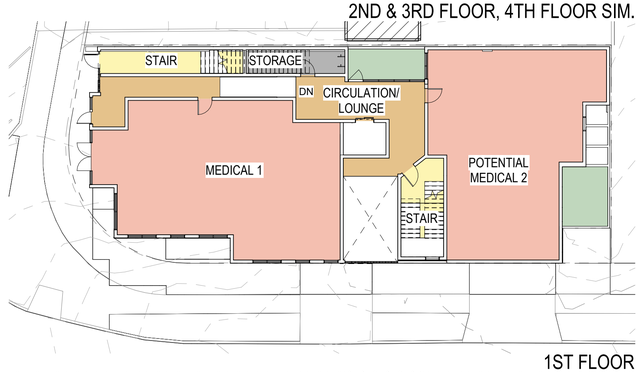


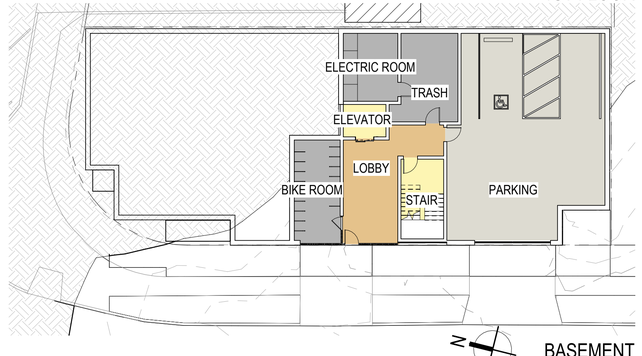
ROOF



2ND & 3RD FLOOR, 4TH FLOOR SIM.



1ST FLOOR



N

BASEMENT

W/ DENSITY BONUS PROJECT

DENSITY BONUS DIAGRAM

BASE PROJECT INFORMATION		
APN:	65-2625-1	
LOT AREA:	5,127 SF	
	ALLOWED/REQUIRED	PROPOSED
DENSITY:	(63) UNITS PER ACRE, (7.4 UNITS ALLOWED)	(8) UNITS *
FAR:	125% OF LOT AREA (6,408 SF ALLOWED)	6,396 SF
BUILDING HEIGHT:	35'-0" MAX.	24'-0"
OPEN SPACE:	200 SF PER UNIT	1,665 SF
PARKING:	(1) PER UNIT, (1) PER 200 SF OF OFFICE (MEDICAL)	(13) TOTAL = (5) FOR OFFICE + (8) FOR UNITS

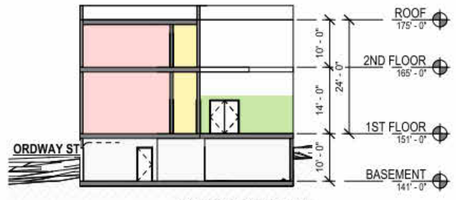
*CALIFORNIA'S DENSITY BONUS LAW STATES ALL DENSITY BONUS CALCULATIONS RESULTING IN FRACTIONS ARE ROUNDED UP TO THE NEXT WHOLE NUMBER

GROSS FLOOR AREA BY FLOOR

BASEMENT	4005 SF
	4005 SF
FAR	
1ST FLOOR	3198 SF
2ND FLOOR	3198 SF
	6396 SF
TOTAL	10401 SF

RESIDENTIAL UNITS

UNIT TYPE	COUNT	%	AVERAGE NET UNIT AREA	TOTAL NET AREA
1ST FLOOR				
STUDIO	3	38%	445 SF	1318
	3	38%		1318
2ND FLOOR				
STUDIO	5	63%	445 SF	2222
	5	63%		2222
TOTAL # UNITS	8	100%		3540



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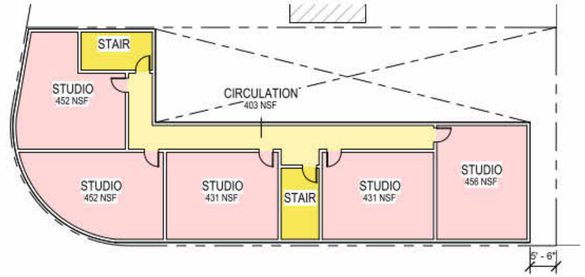
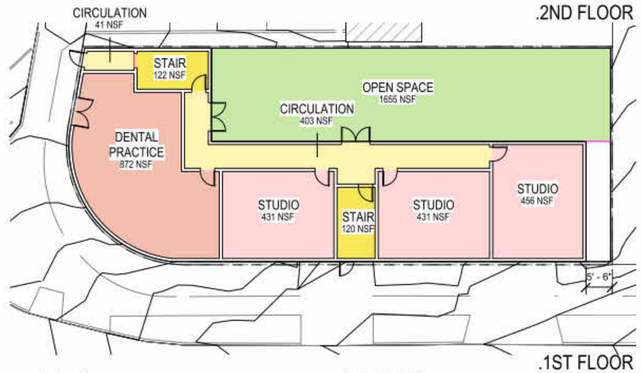
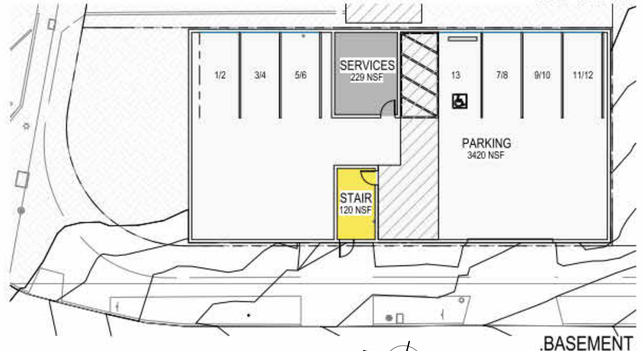




.1ST FLOOR



.BASEMENT

N

BY-RIGHT PROJECT

1600 SOLANO MIXED USE | 1600 SOLANO AVE
ALBANY, CA 94707

KAVA MASSIH ARCHITECTS
920 Grayson Street I Berkeley, CA 94710
95 Federal Street I San Francisco, CA 94107
KMA PROJECT NO. 2018

TOTAL GROSS FLOOR AREA BY OCCUPANCY

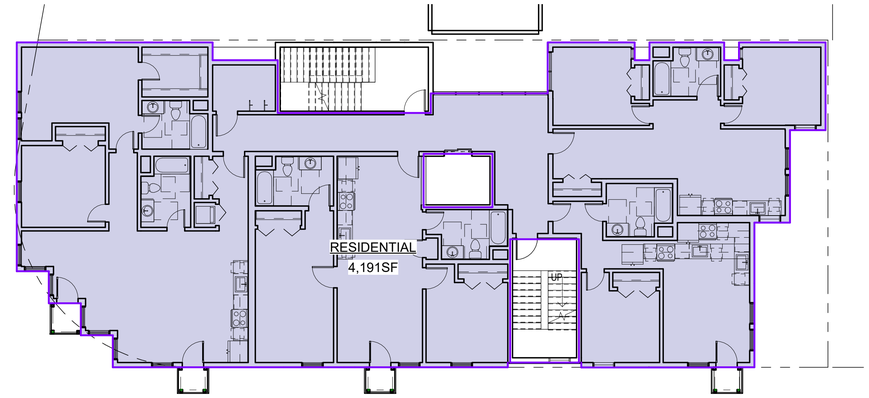
COMMERCIAL	
1ST FLOOR	3,053
	3,053
PARKING	
BASEMENT	1,449
	1,449
RESIDENTIAL	
BASEMENT	1,321
1ST FLOOR	829
2ND FLOOR	4,191
3RD FLOOR	4,201
4TH FLOOR	4,157
	14,699
TOTAL FLOOR AREA	19,201

- TOTAL FLOOR AREA EXCLUDES USABLE OPEN SPACE, STAIRS AND ELEVATORS ABOVE GROUND FLOOR.
- INCLUDES PARKING AREA ENCLOSED BY TWO OR MORE WALLS, ANY COVERED AREA BELOW THE FIRST FLOOR IF HEIGHT IS GREATER THAN 5 FEET

FLOOR AREA RATIO:

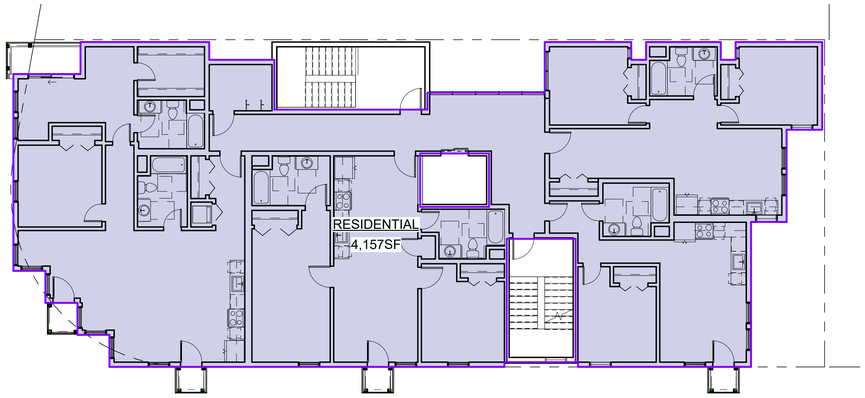
FAR ALLOWED: 6,408 SF (125%)
5,127 x 1.25 = 6,408 (125%)

FAR PROPOSED: 19,201 SF (375%)
19,201 SF (TOTAL)
19,201 / 5,127 = 3.75 FAR (375%)

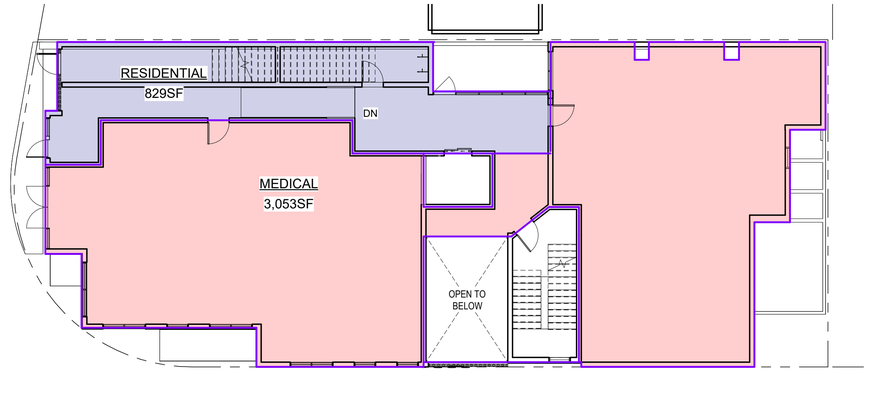


2ND FLOOR 3/32" = 1'-0" 3

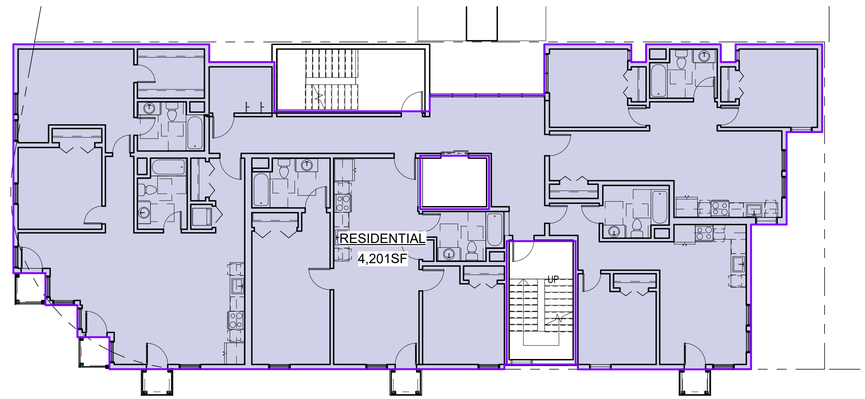
OCCUPANCY
- RESIDENTIAL
- COMMERCIAL



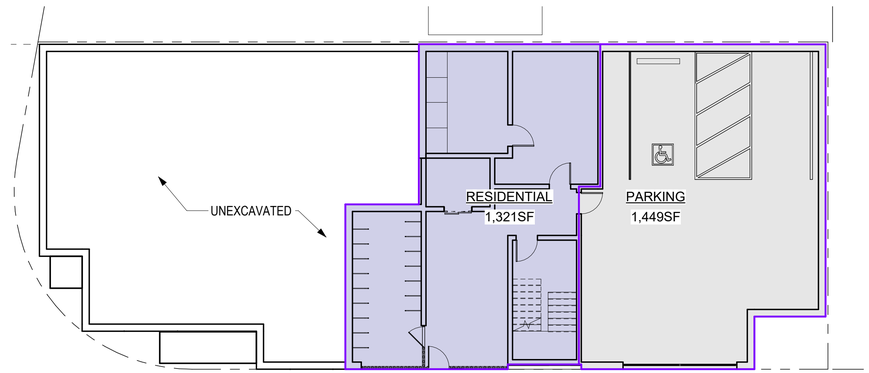
4TH FLOOR 3/32" = 1'-0" 5



1ST FLOOR 3/32" = 1'-0" 2



3RD FLOOR 3/32" = 1'-0" 4



OCCUPANCY
- RESIDENTIAL
- PARKING

BASEMENT 3/32" = 1'-0" 1

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AREA CALCULATIONS - FAR & OCCUPANCY

3/32" = 1'-0" (@ 22" x 34")
08/10/2021

1600 SOLANO MIXED USE | 1600 SOLANO AVE
ALBANY, CA 94707

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KAVA MASSIH ARCHITECTS
920 Grayson Street I Berkeley, CA 94710
95 Federal Street I San Francisco, CA 94107
KMA PROJECT NO. 2018

2019 CALIFORNIA GREEN BUILDING STANDARDS CODE AND ALBANY AMENDMENTS

RESIDENTIAL MANDATORY MEASURES, SHEET 1 (Updated December 13th, 2021)

Y = YES
N/A = NOT APPLICABLE
RESPON. PARTY = RESPONSIBLE PARTY (ie: ARCHITECT, ENGINEER, OWNER, CONTRACTOR, INSPECTOR ETC.)

CHAPTER 3
GREEN BUILDING
SECTION 301 GENERAL

301.1 SCOPE. Buildings shall be designed to include the green building measures specified as mandatory in the application checklists contained in this code. Voluntary green building measures are also included in the application checklists and may be included in the design and construction of structures covered by this code, but are not required unless adopted by a city, county, or city and county as specified in Section 101.7.

301.1.1 Additions and alterations. [HCD] The mandatory provisions of Chapter 4 shall be applied to additions or alterations of existing residential buildings where the addition or alteration increases the building's conditioned area, volume, or size. The requirements shall apply only to and/or within the specific area of the addition or alteration.

Note: On and after January 1, 2014, residential buildings undergoing permitted alterations, additions, or improvements shall replace noncompliant plumbing fixtures with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate of occupancy or final permit approval by the local building department. See Civil Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and other important enactment dates.

301.2 LOW-RISE AND HIGH-RISE RESIDENTIAL BUILDINGS. [HCD] The provisions of individual sections of CALGreen may apply to either low-rise residential buildings high-rise residential buildings, or both. Individual sections will be designated by banners to indicate where the section applies specifically to low-rise only (LR) or high-rise only (HR). When the section applies to both low-rise and high-rise buildings, no banner will be used.

SECTION 302 MIXED OCCUPANCY BUILDINGS

302.1 MIXED OCCUPANCY BUILDINGS. In mixed occupancy buildings, each portion of a building shall comply with the specific green building measures applicable to each specific occupancy.

ABBREVIATION DEFINITIONS:

HCD	Department of Housing and Community Development
BSC	California Building Standards Commission
DSA-SS	Division of the State Architect, Structural Safety
OSHPD	Office of Statewide Health Planning and Development
LR	Low Rise
HR	High Rise
AA	Additions and Alterations
N	New

CHAPTER 4
RESIDENTIAL MANDATORY MEASURES
DIVISION 4.1 PLANNING AND DESIGN
SECTION 4.102 DEFINITIONS

4.102.1 DEFINITIONS
The following terms are defined in Chapter 2 *(and are included here for reference)*

FRENCH DRAIN. A trench, hole or other depressed area loosely filled with rock, gravel, fragments of brick or similar pervious material used to collect or channel drainage or runoff water.

WATTLES. Wattles are used to reduce sediment in runoff. Wattles are often constructed of natural plant materials such as hay, straw or similar material shaped in the form of tubes and placed on a downflow slope. Wattles are also used for perimeter and inlet controls.

4.106 SITE DEVELOPMENT

4.106.1 GENERAL. Preservation and use of available natural resources shall be accomplished through evaluation and careful planning to minimize negative effects on the site and adjacent areas. Preservation of slopes, management of storm water drainage and erosion controls shall comply with this section.

4.106.2 STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION. Projects which disturb less than one acre of soil and are not part of a larger common plan of development which in total disturbs one acre or more, shall manage storm water drainage during construction. In order to manage storm water drainage during construction, one or more of the following measures shall be implemented to prevent flooding of adjacent property, prevent erosion and retain soil runoff on the site.

1. Retention basins of sufficient size shall be utilized to retain storm water on the site.
2. Where storm water is conveyed to a public drainage system, collection point, gutter or similar disposal method, water shall be filtered by use of a barrier system, wattle or other method approved by the enforcing agency.
3. Compliance with a lawfully enacted storm water management ordinance.

Note: Refer to the State Water Resources Control Board for projects which disturb one acre or more of soil, or are part of a larger common plan of development which in total disturbs one acre or more of soil.

(Website: https://www.waterboards.ca.gov/water_issues/programs/stormwater/construction.html)

4.106.3 GRADING AND PAVING. Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface water include, but are not limited to, the following:

1. Swales
2. Water collection and disposal systems
3. French drains
4. Water retention gardens
5. Other water measures which keep surface water away from buildings and aid in groundwater recharge.

Exception: Additions and alterations not altering the drainage path.

4.106.4 Electric vehicle (EV) charging for new construction. New construction shall comply with Sections 4.106.4.1, 4.106.4.2, or 4.106.4.3 to facilitate future installation and use of EV chargers. Electric vehicle supply equipment (EVSE) shall be installed in accordance with the *California Electrical Code*, Article 625.

Exceptions:
1. On a case-by-case basis, where the local enforcing agency has determined EV charging and infrastructure are not feasible based upon one or more of the following conditions:
   1.1 Where there is no commercial power supply.
   1.2 Where there is evidence substantiating that meeting the requirements will alter the local utility infrastructure design requirements on the utility side of the meter so as to increase the utility side cost to the homeowner or the developer by more than $400.00 per dwelling unit.
2. Accessory Dwelling Units (ADU) and Junior Accessory Dwelling Units (JADU) without additional parking facilities.

4.106.4.1 New one- and two-family dwellings and townhouses with attached private garages. For each dwelling unit, install a listed raceway to accommodate a dedicated 208/240-volt branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or other enclosure in close proximity to the proposed location of an EV charger. Raceways are required to be continuous at enclosed, inaccessible or concealed areas and spaces. The service panel and/or subpanel shall provide capacity to install a 40-ampere minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device.

4.106.4.1.1 Identification. The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging as "EV CAPABLE". The raceway termination location shall be permanently and visibly marked as "EV CAPABLE".

4.106.4.2 New multifamily dwellings. See Appendix A.

4.106.4.2.1 Electric Vehicle Charging Stations (EVCS) When EV chargers are installed, EV spaces required by Section 4.106.2.2, Item 3, shall comply with at least one of the following options:

1. The EV space shall be located adjacent to an accessible parking space meeting the requirements of the *California Building Code*, Chapter 11A, to allow use of the EV charger from the accessible parking space.
2. The EV space shall be located on an accessible route, as defined in the *California Building Code*, Chapter 2, to the building.

Exception: Electric vehicle charging stations designed and constructed in compliance with the *California Building Code*, Chapter 11B, are not required to comply with Section 4.106.4.2.1.1 and Section 4.106.4.2.2, Item 3.

Note: Electric Vehicle charging stations serving public housing are required to comply with the *California Building Code*, Chapter 11B.

4.106.4.2.2 Electric vehicle charging space (EV space) dimensions. The EV space shall be designed to comply with the following:

1. The minimum length of each EV space shall be 18 feet (5486 mm).
2. The minimum width of each EV space shall be 9 feet (2743 mm).
3. One in every 25 EV spaces, but not less than one EV space, shall have an 8-foot (2438 mm) wide minimum aisle. A 5-foot (1524 mm) wide minimum aisle shall be permitted provided the minimum width of the EV space is 12 feet (3658 mm).
   a. Surface slope for this EV space and the aisle shall not exceed 1 unit vertical in 48 units horizontal (2.083 percent slope) in any direction.

4.106.4.2.3 Single EV space required. Install a listed raceway capable of accommodating a 208/240-volt dedicated branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or enclosure in close proximity to the proposed location of the EV space. Construction documents shall identify the raceway termination point. The service panel and/or subpanel shall provide capacity to install a 40-ampere minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device.

4.106.4.2.4 Multiple EV spaces required. See Appendix A.

4.106.4.2.5 Identification. The service panel or subpanel circuit directory shall identify the overcurrent protective device(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the *California Electrical Code*.

4.106.4.3 New hotels and motels. All newly constructed hotels and motels shall provide EV spaces capable of supporting future installation of EVSE. The construction documents shall identify the location of the EV spaces.

Notes:
1. Construction documents are intended to demonstrate the project's capability and capacity or facilitating future EV charging.
2. There is no requirement for EV spaces to be constructed or available until EV chargers are installed for use.

4.106.4.3.1 Number of required EV spaces. The number of required EV spaces shall be based on the total number of parking spaces provided for all types of parking facilities in accordance with Table 4.106.4.3.1. Calculations for the required number of EV spaces shall be rounded up to the nearest whole number.

TABLE 4.106.4.3.1

TOTAL NUMBER OF PARKING SPACES	NUMBER OF REQUIRED EV SPACES
0-9	0
10-25	1
26-50	2
51-75	4
76-100	5
101-150	7
151-200	10
201 and over	6 percent of total

4.106.4.3.2 Electric vehicle charging space (EV space) dimensions. The EV spaces shall be designed to comply with the following:

1. The minimum length of each EV space shall be 18 feet (5486mm).
2. The minimum width of each EV space shall be 9 feet (2743mm)

4.106.4.3.3 Single EV space required. When a single EV space is required, the EV space shall be designed in accordance with Section 4.106.4.2.3.

4.106.4.3.4 Multiple EV spaces required. When multiple EV spaces are required, the EV spaces shall be designed in accordance with Section 4.106.4.2.4.

4.106.4.3.5 Identification. The service panels or sub-panels shall be identified in accordance with Section 4.106.4.2.5.

4.106.4.3.6 Accessible EV spaces. In addition to the requirements in Section 4.106.4.3, EV spaces for hotels/motels and all EVSE, when installed, shall comply with the accessibility provisions for the EV charging stations in the *California Building Code*, Chapter 11B.

DIVISION 4.2 ENERGY EFFICIENCY

4.201 GENERAL

4.201.1 SCOPE. For the purposes of mandatory energy efficiency standards in this code, the California Energy Commission will continue to adopt mandatory standards. For new buildings see Appendix A.

DIVISION 4.3 WATER EFFICIENCY AND CONSERVATION

4.303 INDOOR WATER USE

4.303.1 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) shall comply with the sections 4.303.1.1, 4.303.1.2, 4.303.1.3, and 4.303.4.4.

Note: All noncompliant plumbing fixtures in any residential real property shall be replaced with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate of occupancy, or final permit approval by the local building department. See Civil Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and other important enactment dates.

4.303.1.1 Water Closets. The effective flush volume of all water closets shall not exceed 1.28 gallons per flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Tank-type Toilets.

Note: The effective flush volume of dual flush toilets is defined as the composite, average flush volume of two reduced flushes and one full flush.

4.303.1.2 Urinals. The effective flush volume of wall mounted urinals shall not exceed 0.125 gallons per flush. The effective flush volume of all other urinals shall not exceed 0.5 gallons per flush.

4.303.1.3 Showerheads.

4.303.1.3.1 Single Showerhead. Showerheads shall have a maximum flow rate of not more than 1.8 gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Showerheads.

4.303.1.3.2 Multiple showerheads serving one shower. When a shower is served by more than one showerhead, the combined flow rate of all the showerheads and/or other shower outlets controlled by a single valve shall not exceed 1.8 gallons per minute at 80 psi, or the shower shall be designed to only allow one shower outlet to be in operation at a time.

Note: A hand-held shower shall be considered a showerhead.

4.303.1.4 Faucets.

4.303.1.4.1 Residential Lavatory Faucets. The maximum flow rate of residential lavatory faucets shall not exceed 1.2 gallons per minute at 60 psi. The minimum flow rate of residential lavatory faucets shall not be less than 0.8 gallons per minute at 20 psi.

4.303.1.4.2 Lavatory Faucets in Commmon and Public Use Areas. The maximum flow rate of lavatory faucets installed in common and public use areas (outside of dwellings or sleeping units) in residential buildings shall not exceed 0.5 gallons per minute at 60 psi.

4.303.1.4.3 Metering Faucets. Metering faucets when installed in residential buildings shall not deliver more than 0.2 gallons per cycle.

4.303.1.4.4 Kitchen Faucets. See Appendix A.

Note: Where complying faucets are unavailable, aerators or other means may be used to achieve reduction.

4.303.2 STANDARDS FOR PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures and fittings shall be installed in accordance with the *California Plumbing Code*, and shall meet the applicable standards referenced in Table 1701.1 of the *California Plumbing Code*.

NOTE:
THIS TABLE COMPILES THE DATA IN SECTION 4.303.1, AND
IS INCLUDED AS A CONVENIENCE FOR THE USER.

TABLE - MAXIMUM FIXTURE WATER USE

FIXTURE TYPE	FLOW RATE
SHOWER HEADS (RESIDENTIAL)	1.8 GMP @ 80 PSI
LAVATORY FAUCETS (RESIDENTIAL)	MAX. 1.2 GPM @ 60 PSI MIN. 0.8 GPM @ 20 PSI
LAVATORY FAUCETS IN COMMON & PUBLIC USE AREAS	0.5 GPM @ 60 PSI
KITCHEN FAUCETS	1.5 GPM @ 60 PSI
METERING FAUCETS	0.2 GAL/CYCLE
WATER CLOSET	1.28 GAL/FLUSH
URINALS	0.125 GAL/FLUSH

4.304 OUTDOOR WATER USE

4.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS. Residential developments shall comply with a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent.

NOTES:
1. The Model Water Efficient Landscape Ordinance (MWELO) is located in the *California Code Regulations*, Title 23, Chapter 2.7, Division 2. MWELO and supporting documents, including water budget calculator, are available at: https://www.water.ca.gov/

DIVISION 4.4 MATERIAL CONSERVATION AND RESOURCE EFFICIENCY

4.406 ENHANCED DURABILITY AND REDUCED MAINTENANCE

4.406.1 RODENT PROOFING. Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or a similar method acceptable to the enforcing agency.

4.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING

4.408.1 CONSTRUCTION WASTE MANAGEMENT. Recycle and/or salvage for reuse a minimum of 65 percent of the non-hazardous construction and demolition waste in accordance with either Section 4.408.2, 4.408.3 or 4.408.4, or meet a more stringent local construction and demolition waste management ordinance.

Exceptions:

1. Excavated soil and land-clearing debris.
2. Alternate waste reduction methods developed by working with local agencies if diversion or recycle facilities capable of compliance with this item do not exist or are not located reasonably close to the jobsite.
3. The enforcing agency may make exceptions to the requirements of this section when isolated jobsites are located in areas beyond the haul boundaries of the diversion facility.

4.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN. Submit a construction waste management plan in conformance with Items 1 through 5. The construction waste management plan shall be updated as necessary and shall be available during construction for examination by the enforcing agency.

1. Identify the construction and demolition waste materials to be diverted from disposal by recycling, reuse on the project or salvage for future use or sale.
2. Specify if construction and demolition waste materials will be sorted on-site (source separated) or bulk mixed (single stream).
3. Identify diversion facilities where the construction and demolition waste material collected will be taken.
4. Identify construction methods employed to reduce the amount of construction and demolition waste generated.
5. Specify that the amount of construction and demolition waste materials diverted shall be calculated by weight or volume, but not by both.

4.408.3 WASTE MANAGEMENT COMPANY. Utilize a waste management company, approved by the enforcing agency, which can provide verifiable documentation that the percentage of construction and demolition waste material diverted from the landfill complies with Section 4.408.1.

Note: The owner or contractor may make the determination if the construction and demolition waste materials will be diverted by a waste management company.

4.408.4 WASTE STREAM REDUCTION ALTERNATIVE [LR]. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 3.4 lbs./sq.ft. of the building area shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1

4.408.4.1 WASTE STREAM REDUCTION ALTERNATIVE. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 2 pounds per square foot of the building area, shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1

4.408.5 DOCUMENTATION. Documentation shall be provided to the enforcing agency which demonstrates compliance with Section 4.408.2, items 1 through 5, Section 4.408.3 or Section 4.408.4..

Notes:

1. Sample forms found in "A Guide to the California Green Building Standards Code (Residential)" located at www.hcd.ca.gov/CALGreen.html may be used to assist in documenting compliance with this section.
2. Mixed construction and demolition debris (C & D) processors can be located at the California Department of Resources Recycling and Recovery (CalRecycle).

4.410 BUILDING MAINTENANCE AND OPERATION

4.410.1 OPERATION AND MAINTENANCE MANUAL. At the time of final inspection, a manual, compact disc, web-based reference or other media acceptable to the enforcing agency which includes all of the following shall be placed in the building:

1. Directions to the owner or occupant that the manual shall remain with the building throughout the life cycle of the structure.
2. Operation and maintenance instructions for the following:
   a. Equipment and appliances, including water-saving devices and systems, HVAC systems, photovoltaic systems, electric vehicle chargers, water-heating systems and other major appliances and equipment.
   b. Roof and yard drainage, including gutters and downspouts.
   c. Space conditioning systems, including condensers and air filters.
   d. Landscape irrigation systems.
   e. Water reuse systems.
3. Information from local utility, water and waste recovery providers on methods to further reduce resource consumption, including recycle programs and locations.
4. Public transportation and/or carpool options available in the area.
5. Educational material on the positive impacts of an interior relative humidity between 30-60 percent and what methods an occupant may use to maintain the relative humidity level in that range.
6. Information about water-conserving landscape and irrigation design and controllers which conserve water.
7. Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5 feet away from the foundation.
8. Information on required routine maintenance measures, including, but not limited to, caulking, painting, grading around the building, etc.
9. Information about state solar energy and incentive programs available.
10. A copy of all special inspections verifications required by the enforcing agency or this code.

4.410.2 RECYCLING BY OCCUPANTS. Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible area(s) that serves all buildings on the site and are identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waster, and metals, or meet a lawfully enacted local recycling ordinance, if more restrictive.

Exception: Rural jurisdictions that meet and apply for the exemption in Public Resources Code Section 42649.82 (a)(2)(A) et seq. are note required to comply with the organic waste portion of this section.

DIVISION 4.5 ENVIRONMENTAL QUALITY

SECTION 4.501 GENERAL

4.501.1 Scope
The provisions of this chapter shall outline means of reducing the quality of air contaminants that are odorous, irritating and/or harmful to the comfort and well being of a building's installers, occupants and neighbors.

SECTION 4.502 DEFINITIONS

5.102.1 DEFINITIONS
The following terms are defined in Chapter 2 *(and are included here for reference)*

AGRIFIBER PRODUCTS. Agrifiber products include wheatboard, strawboard, panel substrates and door cores, not including furniture, fixtures and equipment (FF&E) not considered base building elements.

COMPOSITE WOOD PRODUCTS. Composite wood products include hardwood plywood, particleboard and medium density fiberboard. "Composite wood products" does not include hardboard, structural plywood, structural panels, structural composite lumber, oriented strand board, glued laminated timber, prefabricated wood I-joists or finger-jointed lumber, all as specified in California Code of regulations (CCR), title 17, Section 93120.1.

DIRECT-VENT APPLIANCE. A fuel-burning appliance with a sealed combustion system that draws all air for combustion from the outside atmosphere and discharges all flue gases to the outside atmosphere.

DISCLAIMER:*THIS DOCUMENT IS PROVIDED AND INTENDED TO BE USED AS A MEANS TO INDICATE AREAS OF COMPLIANCE WITH THE CALIFORNIA GREEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING DEPARTMENT JURISDICTIONS, THIS CHECKLIST IS TO BE USED ON AN INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL NEEDS. THE END USER ASSUMES ALL RESPONSIBILITY ASSOCIATED WITH THE USE OF THIS DOCUMENT, INCLUDING VERIFICATION WITH THE FULL CODE.*

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AIA CHECKLIST

(@ 22" x 34")
08/10/2021

1600 SOLANO MIXED USE | 1600 SOLANO AVE
ALBANY, CA 94707

A0.4

KAVA MASSIH ARCHITECTS
920 Grayson Street I Berkeley, CA 94710
95 Federal Street I San Francisco, CA 94107
KMA PROJECT NO. 2018

2019 CALIFORNIA GREEN BUILDING STANDARDS CODE AND ALBANY AMENDMENTS

RESIDENTIAL MANDATORY MEASURES, SHEET 2 (Updated December 13th, 2021)

Y = YES
N/A = NOT APPLICABLE
RESPON. PARTY = RESPONSIBLE PARTY (ie. ARCHITECT, ENGINEER, OWNER, CONTRACTOR, INSPECTOR ETC.)

MAXIMUM INCREMENTAL REACTIVITY (MIR). The maximum change in weight of ozone formed by adding a compound to the "Base Reactive Organic Gas (ROG) Mixture" per weight of compound added, expressed to hundredths of a gram (g O^3/g ROC).
Note: MIR values for individual compounds and hydrocarbon solvents are specified in CCR, Title 17, Sections 94700 and 94701.

MOISTURE CONTENT. The weight of the water in wood expressed in percentage of the weight of the oven-dry wood.

PRODUCT-WEIGHTED MIR (PWMIR). The sum of all weighted-MIR for all ingredients in a product subject to this article. The PWMIR is the total product reactivity expressed to hundredths of a gram of ozone formed per gram of product (excluding container and packaging).
Note: PWMIR is calculated according to equations found in CCR, Title 17, Section 94521 (a).

REACTIVE ORGANIC COMPOUND (ROC). Any compound that has the potential, once emitted, to contribute to ozone formation in the troposphere.

VOC. A volatile organic compound (VOC) broadly defined as a chemical compound based on carbon chains or rings with vapor pressures greater than 0.1 millimeters of mercury at room temperature. These compounds typically contain hydrogen and may contain oxygen, nitrogen and other elements. See CCR Title 17, Section 94508(a).

4.503 FIREPLACES

4.503.1 GENERAL. Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, pellet stoves and fireplaces shall also comply with applicable local ordinances.

4.504 POLLUTANT CONTROL

4.504.1 COVERING OF DUCT OPENINGS & PROTECTION OF MECHANICAL EQUIPMENT DURING CONSTRUCTION. At the time of rough installation, during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheet metal or other methods acceptable to the enforcing agency to reduce the amount of water, dust or debris which may enter the system.

4.504.2 FINISH MATERIAL POLLUTANT CONTROL. Finish materials shall comply with this section.

4.504.2.1 Adhesives, Sealants and Caulks. Adhesives, sealant and caulks used on the project shall meet the requirements of the following standards unless more stringent local or regional air pollution or air quality management district rules apply:

1. Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers and caulks shall comply with local or regional air pollution control or air quality management district rules where applicable or SCAQMD Rule 1168 VOC limits, as shown in Table 4.504.1 or 4.504.2, as applicable. Such products also shall comply with the Rule 1168 prohibition on the use of certain toxic compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and trichloroethylene), except for aerosol products, as specified in Subsection 2 below.
2. Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in units of product, less packaging, which do not weigh more than 1 pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of *California Code of Regulations*, Title 17, commencing with section 94507.

4.504.2.2 Paints and Coatings. Architectural paints and coatings shall comply with VOC limits in Table 1 of the ARB Architectural Suggested Control Measure, as shown in Table 4.504.3, unless more stringent local limits apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 4.504.3 shall be determined by classifying the coating as a Flat, Nonflat or Nonflat-High Gloss coating, based on its gloss, as defined in subsections 4.21, 4.36, and 4.37 of the 2007 California Air Resources Board, Suggested Control Measure, and the corresponding Flat, Nonflat or Nonflat-High Gloss VOC limit in Table 4.504.3 shall apply.

4.504.2.3 Aerosol Paints and Coatings. Aerosol paints and coatings shall meet the Product-weighted MIR Limits for ROC in Section 94522(a)(2) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances, in Sections 94522(e)(1) and (f)(1) of *California Code of Regulations*, Title 17, commencing with Section 94520; and in areas under the jurisdiction of the Bay Area Air Quality Management District additionally comply with the percent VOC by weight of product limits of Regulation 8, Rule 49.

4.504.2.4 Verification. Verification of compliance with this section shall be provided at the request of the enforcing agency. Documentation may include, but is not limited to, the following:

1. Manufacturer's product specification.
2. Field verification of on-site product containers.

TABLE 4.504.1 - ADHESIVE VOC LIMIT[1,2]

(Less Water and Less Exempt Compounds in Grams per Liter)

ARCHITECTURAL APPLICATIONS	VOC LIMIT
INDOOR CARPET ADHESIVES	50
CARPET PAD ADHESIVES	50
OUTDOOR CARPET ADHESIVES	150
WOOD FLOORING ADHESIVES	100
RUBBER FLOOR ADHESIVES	60
SUBFLOOR ADHESIVES	50
CERAMIC TILE ADHESIVES	65
VCT & ASPHALT TILE ADHESIVES	50
DRYWALL & PANEL ADHESIVES	50
COVE BASE ADHESIVES	50
MULTIPURPOSE CONSTRUCTION ADHESIVE	70
STRUCTURAL GLAZING ADHESIVES	100
SINGLE-PLY ROOF MEMBRANE ADHESIVES	250
OTHER ADHESIVES NOT LISTED	50
SPECIALTY APPLICATIONS	
PVC WELDING	510
CPVC WELDING	490
ABS WELDING	325
PLASTIC CEMENT WELDING	250
ADHESIVE PRIMER FOR PLASTIC	550
CONTACT ADHESIVE	80
SPECIAL PURPOSE CONTACT ADHESIVE	250
STRUCTURAL WOOD MEMBER ADHESIVE	140
TOP & TRIM ADHESIVE	250
SUBSTRATE SPECIFIC APPLICATIONS	
METAL TO METAL	30
PLASTIC FOAMS	50
POROUS MATERIAL (EXCEPT WOOD)	50
WOOD	30
FIBERGLASS	80

1. IF AN ADHESIVE IS USED TO BOND DISSIMILAR SUBSTRATES TOGETHER, THE ADHESIVE WITH THE HIGHEST VOC CONTENT SHALL BE ALLOWED.

2. FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE THE VOC CONTENT SPECIFIED IN THIS TABLE, SEE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 1168.

TABLE 4.504.2 - SEALANT VOC LIMIT

(Less Water and Less Exempt Compounds in Grams per Liter)

SEALANTS	VOC LIMIT
ARCHITECTURAL	250
MARINE DECK	760
NONMEMBRANE ROOF	300
ROADWAY	250
SINGLE-PLY ROOF MEMBRANE	450
OTHER	420
SEALANT PRIMERS	
ARCHITECTURAL	
NON-POROUS	250
POROUS	775
MODIFIED BITUMINOUS	500
MARINE DECK	760
OTHER	750

TABLE 4.504.3 - VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS[2,3]

GRAMS OF VOC PER LITER OF COATING, LESS WATER & LESS EXEMPT COMPOUNDS

COATING CATEGORY	VOC LIMIT
FLAT COATINGS	50
NON-FLAT COATINGS	100
NONFLAT-HIGH GLOSS COATINGS	150
SPECIALTY COATINGS	
ALUMINUM ROOF COATINGS	400
BASEMENT SPECIALTY COATINGS	400
BITUMINOUS ROOF COATINGS	50
BITUMINOUS ROOF PRIMERS	350
BOND BREAKERS	350
CONCRETE CURING COMPOUNDS	350
CONCRETE/MASONRY SEALERS	100
DRIVEWAY SEALERS	50
DRY FOG COATINGS	150
FAUX FINISHING COATINGS	350
FIRE RESISTIVE COATINGS	350
FLOOR COATINGS	100
FORM-RELEASE COMPOUNDS	250
GRAPHIC ARTS COATINGS (SIGN PAINTS)	500
HIGH TEMPERATURE COATINGS	420
INDUSTRIAL MAINTENANCE COATINGS	250
LOW SOLIDS COATINGS[1]	120
MAGNESITE CEMENT COATINGS	450
MASTIC TEXTURE COATINGS	100
METALLIC PIGMENTED COATINGS	500
MULTICOLOR COATINGS	250
PRETREATMENT WASH PRIMERS	420
PRIMERS, SEALERS, & UNDERCOATERS	100
REACTIVE PENETRATING SEALERS	350
RECYCLED COATINGS	250
ROOF COATINGS	50
RUST PREVENTATIVE COATINGS	250
SHELLACS	
CLEAR	730
OPAQUE	550
SPECIALTY PRIMERS, SEALERS & UNDERCOATERS	100
STAINS	250
STONE CONSOLIDANTS	450
SWIMMING POOL COATINGS	340
TRAFFIC MARKING COATINGS	100
TUB & TILE REFINISH COATINGS	420
WATERPROOFING MEMBRANES	250
WOOD COATINGS	275
WOOD PRESERVATIVES	350
ZINC-RICH PRIMERS	340

1. GRAMS OF VOC PER LITER OF COATING, INCLUDING WATER & EXEMPT COMPOUNDS

2. THE SPECIFIED LIMITS REMAIN IN EFFECT UNLESS REVISED LIMITS ARE LISTED IN SUBSEQUENT COLUMNS IN THE TABLE.

3. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD, ARCHITECTURAL COATINGS SUGGESTED CONTROL MEASURE, FEB. 1, 2008. MORE INFORMATION IS AVAILABLE FROM THE AIR RESOURCES BOARD.

TABLE 4.504.5 - FORMALDEHYDE LIMITS[1]

MAXIMUM FORMALDEHYDE EMISSIONS IN PARTS PER MILLION

PRODUCT	CURRENT LIMIT
HARDWOOD PLYWOOD VENEER CORE	0.05
HARDWOOD PLYWOOD COMPOSITE CORE	0.05
PARTICLE BOARD	0.09
MEDIUM DENSITY FIBERBOARD	0.11
THIN MEDIUM DENSITY FIBERBOARD[2]	0.13

1. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIF. AIR RESOURCES BOARD, AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD AS TESTED IN ACCORDANCE WITH ASTM E 1333. FOR ADDITIONAL INFORMATION, SEE CALIF. CODE OF REGULATIONS, TITLE 17, SECTIONS 93120 THROUGH 93120.12.

2. THIN MEDIUM DENSITY FIBERBOARD HAS A MAXIMUM THICKNESS OF 5/16" (8 MM).

DIVISION 4.5 ENVIRONMENTAL QUALITY (continued)

4.504.3 CARPET SYSTEMS. All carpet installed in the building interior shall meet the testing and product requirements of at least one of the following:

1. Carpet and Rug Institute's Green Label Plus Program.
2. California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers" Version 1.1, February 2010 (also known as Specification 01350).
3. NSF/ANSI 140 at the Gold level.
4. Scientific Certifications Systems Indoor Advantage™ Gold.

4.504.3.1 Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute's Green Label program.

4.504.3.2 Carpet adhesive. All carpet adhesive shall meet the requirements of Table 4.504.1.

4.504.4 RESILIENT FLOORING SYSTEMS. See Appendix A.

4.504.5 COMPOSITE WOOD PRODUCTS. Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the buildings shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (17 CCR 93120 et seq.), by or before the dates specified in those sections, as shown in Table 4.504.5

4.504.5.1 Documentation. Verification of compliance with this section shall be provided as requested by the enforcing agency. Documentation shall include at least one of the following:

1. Product certifications and specifications.
2. Chain of custody certifications.
3. Product labeled and invoiced as meeting the Composite Wood Products regulation (see CCR, Title 17, Section 93120, et seq.).
4. Exterior grade products marked as meeting the PS-1 or PS-2 standards of the Engineered Wood Association, the Australian AS/NZS 2269, European 636 3S standards, and Canadian CSA 0121, CSA 0151, CSA 0153 and CSA 0325 standards.
5. Other methods acceptable to the enforcing agency.

4.505 INTERIOR MOISTURE CONTROL

4.505.1 General. Buildings shall meet or exceed the provisions of the *California Building Standards Code*.

4.505.2 CONCRETE SLAB FOUNDATIONS. Concrete slab foundations required to have a vapor retarder by California Building Code, Chapter 19, or concrete slab-on-ground floors required to have a vapor retarder by the California Residential Code, Chapter 5, shall also comply with this section.

4.505.2.1 Capillary break. A capillary break shall be installed in compliance with at least one of the following:

1. A 4-inch (101.6 mm) thick base of 1/2 inch (12.7mm) or larger clean aggregate shall be provided with a vapor barrier in direct contact with concrete and a concrete mix design, which will address bleeding, shrinkage, and curling, shall be used. For additional information, see American Concrete Institute, ACI 302.2R-06.
2. Other equivalent methods approved by the enforcing agency.
3. A slab design specified by a licensed design professional.

4.505.3 MOISTURE CONTENT OF BUILDING MATERIALS. Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19 percent moisture content. Moisture content shall be verified in compliance with the following:

1. Moisture content shall be determined with either a probe-type or contact-type moisture meter.Equivalent moisture verification methods may be approved by the enforcing agency and shall satisfy requirements found in Section 101.8 of this code.
2. Moisture readings shall be taken at a point 2 feet (610 mm) to 4 feet (1219 mm) from the grade stamped end of each piece verified.
3. At least three random moisture readings shall be performed on wall and floor framing with documentation acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing.

Insulation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities. Wet-applied insulation products shall follow the manufacturers' drying recommendations prior to enclosure.

4.506 INDOOR AIR QUALITY AND EXHAUST

4.506.1 Bathroom exhaust fans. Each bathroom shall be mechanically ventilated and shall comply with the following:

1. Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building.
2. Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidity control.
   a. Humidity controls shall be capable of adjustment between a relative humidity range less than or equal to 50% to a maximum of 80%. A humidity control may utilize manual or automatic means of adjustment.
   b. A humidity control may be a separate component to the exhaust fan and is not required to be integral (i.e., built-in)

Notes:

1. For the purposes of this section, a bathroom is a room which contains a bathtub, shower or tub/shower combination.
2. Lighting integral to bathroom exhaust fans shall comply with the *California Energy Code*.

4.507 ENVIRONMENTAL COMFORT

4.507.2 HEATING AND AIR-CONDITIONING SYSTEM DESIGN. Heating and air conditioning systems shall be sized, designed and have their equipment selected using the following methods:

1. The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J - 2011 (Residential Load Calculation), ASHRAE handbooks or other equivalent design software or methods.
2. Duct systems are sized according to ANSI/ACCA 1 Manual D - 2014 (Residential Duct Systems), ASHRAE handbooks or other equivalent design software or methods.
3. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S - 2014 (Residential Equipment Selection), or other equivalent design software or methods.

Exception: Use of alternate design temperatures necessary to ensure the system functions are acceptable.

CHAPTER 7
INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS

702 QUALIFICATIONS

702.1 INSTALLER TRAINING. HVAC system installers shall be trained and certified in the proper installation of HVAC systems including ducts and equipment by a nationally or regionally recognized training or certification program. Uncertified persons may perform HVAC installations when under the direct supervision and responsibility of a person trained and certified to install HVAC systems or contractor licensed to install HVAC systems. Examples of acceptable HVAC training and certification programs include but are not limited to the following:

1. State certified apprenticeship programs.
2. Public utility training programs.
3. Training programs sponsored by trade, labor or statewide energy consulting or verification organizations.
4. Programs sponsored by manufacturing organizations.
5. Other programs acceptable to the enforcing agency.

702.2 SPECIAL INSPECTION [HCD]. When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition to other certifications or qualifications acceptable to the enforcing agency, the following certifications or education may be considered by the enforcing agency when evaluating the qualifications of a special inspector:

1. Certification by a national or regional green building program or standard publisher.
2. Certification by a statewide energy consulting or verification organization, such as HERS raters, building performance contractors, and home energy auditors.
3. Successful completion of a third party apprentice training program in the appropriate trade.
4. Other programs acceptable to the enforcing agency.

Notes:

1. Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.
2. HERS raters are special inspectors certified by the California Energy Commission (CEC) to rate homes in California according to the Home Energy Rating System (HERS).

[BSC] When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition, the special inspector shall have a certification from a recognized state, national or international association, as determined by the local agency. The area of certification shall be closely related to the primary job function, as determined by the local agency.

Note: Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.

703 VERIFICATIONS

703.1 DOCUMENTATION. Documentation used to show compliance with this code shall include but is not limited to, construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which demonstrate substantial conformance. When specific documentation or special inspection is necessary to verify compliance, that method of compliance will be specified in the appropriate section or identified applicable checklist.

2019 CALIFORNIA GREEN BUILDING STANDARDS CODE AND ALBANY AMENDMENTS

APPENDIX A: CITY OF ALBANY AMENDMENTS (Updated Decemeber 13th, 2021)

Y = YES
N/A = NOT APPLICABLE
RESPON. PARTY = RESPONSIBLE PARTY (ie: ARCHITECT, ENGINEER, OWNER, CONTRACTOR, INSPECTOR ETC.)

Y	N/A	RESPON. PARTY	
☐	☑		**Permeable Paving**. Permeable paving is utilized for not less than 30 percent of the total parking, walking, or patio surfaces. Exceptions: 1. The primary driveway, primary entry walkway and entry porch or landing shall not be included when calculating the area required to be a permeable surface. 2. Required accessible routes for persons with disabilities as required by the California Code of Regulations, Title 24, Part 2, Chapter 11A and/or Chapter 11B as applicable.
☐	☑		**Electric Vehicle Charging Stations in new multifamily buildings.** If residential parking is available, twenty percent (20%) of the parking spaces in newly constructed multi-family buildings, rounded to the nearest whole number, shall be Electric Vehicle Charging Stations. The remainder of the parking spaces shall be electric vehicle charging spaces (EV spaces) capable of supporting future EVSE. Construction documents shall indicate the raceway termination point and proposed location of future EV spaces and EV chargers. Branch circuit panelboard(s) shall be installed that contain the physical space to accommodate the future installation of a minimum of one 40-ampere dedicated branch circuit and overcurrent protective device per EV-Ready space and have sufficient electrical capacity to deliver a minimum 40 amperes at 208 or 240 volts multiplied by 20% of the total number of parking spaces. Required raceways and related components that are planned to be installed underground, enclosed, inaccessible or in concealed areas and spaces shall be installed at the time of original construction.
☑	☐		**Energy Star Appliances**. In each unit where a dishwasher or clotheswasher is being installed, at least one dishwasher or clothes-washer shall be Energy Star approved.
☑	☐		**Kitchen Faucets**. The maximum flow rate of kitchen faucets shall not exceed 1.5 gallons per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not to exceed 2.2 gallons per minute at 60 psi, and must default to a maximum flow rate of 1.8 gallons per minute at 60 psi. Note: Where complying faucets are unavailable, aerators or other means may be used to achieve reduction.
☑	☐		**Reduction in cement use.** As allowed by the enforcing agency, cement used in foundation mix design shall be reduced not less than a 25 percent. Note: Products commonly used to replace cement in concrete mix designs include, but are not limited to: 1. Fly ash. 2. Slag. 3. Silica fume. 4. Rice hull ash.
☐	☑		**Resilient Flooring Systems**. Where resilient flooring is installed, at least 90% of floor area receiving resilient flooring shall comply with one or more of the following: 1. Products compliant with the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350), certified as a CHPS Low-Emitting Material in the Collaborative for High Performance Schools (CHPS) High Performance Products Database. 2. Products certified under UL GREENGUARD Gold (formerly the Greenguard Children & Schools program). 3. Certification under the Resilient Floor Covering Institute (RFCI) FloorScore program. 4. Meet the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers", Version 1.1, February 2010 (also known as Specification 01350).
☑	☐		**Energy Efficiency.** Newly constructed residential buildings, excluding Accessory Dwelling Units (ADUs) shall be required to meet or exceed the Energy Design Rating (EDR) Margins listed below: 1. Single family mixed-fuel buildings: 10 EDR Margin 2. Single family all-electric buildings: 4.7 Efficiency EDR Margin 3. Multi-family mixed fuel buildings under 4 stories: 10.3 EDR Margin 4. Multi-family Electric buildings under 4 stories: 0 EDR Margin

AIA CHECKLIST

(@ 22" x 34")
08/10/2021

1600 SOLANO MIXED USE | 1600 SOLANO AVE
ALBANY, CA 94707

A0.6

KAVA MASSIH ARCHITECTS
920 Grayson Street I Berkeley, CA 94710
95 Federal Street I San Francisco, CA 94107
KMA PROJECT NO. 2018

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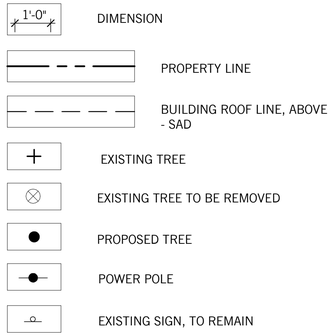
SHEET INDEX

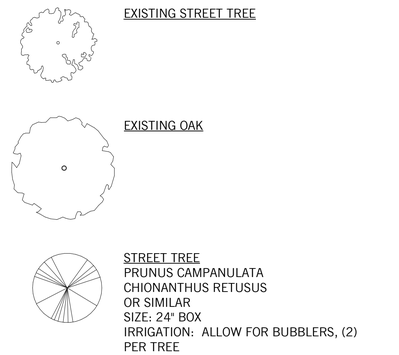
NOTES

1. PLANS ARE SCHEMATIC DESIGN ONLY & NOT FOR CONSTRUCTION.
2. ALL WORK TO BE PERFORMED IN ACCORDANCE WITH APPLICABLE LAWS, CODES AND REGULATIONS. ALL REQUIRED INSPECTIONS AND PERMITS SHALL BE PROVIDED BY CONTRACTOR.
3. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
4. REFER TO ARCHITECTURAL, CIVIL AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.

GENERAL LEGEND - ALL SHEETS



PLANTING LEGEND



EXISTING STREET TREE

EXISTING OAK

STREET TREE
PRUNUS CAMPANULATA
CHIONANTHUS RETUSUS
OR SIMILAR
SIZE: 24" BOX
IRRIGATION: ALLOW FOR BUBBLERS, (2) PER TREE

STREETSCAPE PLANTING TYPE 1
-SALVIA APIANA
-BOUTELOUA GRACILIS
-LOMANDRA LONGIFOLIA
-SIZE: 1 GALLON
-SPACING: 18" OCEW
-IRRIGATION: ALLOW FOR NETAFIM SUBSURFACE IRRIGATION SYSTEM SPACED 18" OCEW

STREETSCAPE PLANTING TYPE 2
-EUPHORBIA CHARACIAS 'WULFENII'
-FESTUCA 'SISKIYOU BLUE'
-SIZE: 1 GALLON
-SPACING: 18" OCEW
-IRRIGATION: ALLOW FOR NETAFIM SUBSURFACE IRRIGATION SYSTEM SPACED 18" OCEW

CONTAINER PLANTING
-LEUCADENDRON "SAFARI SUNSET"
-AEONIUM "BALLERINA"
-AGAVE SP.
-SIZE: 1 GALLON
-SPACING: 18" OCEW
-IRRIGATION: ALLOW FOR NETAFIM SUBSURFACE IRRIGATION SYSTEM SPACED 18" OCEW

COURTYARD PLANTING
-POLYSTICHUM MUNITUM
-DICKSONIA ANTARCTICA
-SIZE: 1 GALLON
-SPACING: 18" OCEW
-IRRIGATION: ALLOW FOR NETAFIM SUBSURFACE IRRIGATION SYSTEM SPACED 18" OCEW

ROOFTOP PLANTING
-AEONIUM "SHWARTZHOPF"
-AGAVE SP.
-SENECIO CYLINDRICUS OR SIMILAR
-SIZE: 1 GALLON
-SPACING: 18" OCEW
-IRRIGATION: ALLOW FOR NETAFIM SUBSURFACE IRRIGATION SYSTEM SPACED 18" OCEW

PLANTING IMAGES

STREET TREES

PRUNUS CAMPANULATA

CHIONANTHUS RETUSUS

STREETSCAPE PLANTING TYPE 1

SALVIA APIANA

BOUTELOUA GRACILIS

LOMANDRA LONGIFOLIA

STREETSCAPE PLANTING TYPE 2

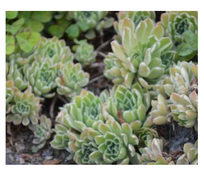
FESTUCA 'SISKIYOU BLUE'

EUPHORBIA CHARACIAS 'WULFENII'

CONTAINER PLANTING

AGAVE SP.

LEUCADENDRON "SAFARI SUNSET"



AEONIUM "BALLERINA"

COURTYARD PLANTING

DICKSONIA ANTARCTICA

POLYSTICHUM MUNITUM

ROOFTOP PLANTING

AEONIUM "SHWARTZHOPF"

AGAVE SP.

SENECIO SP.

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LANDSCAPE INDEX, NOTES AND LEGEND

As indicated (@ 22" x 34")
Issue Date

1600 SOLANO MIXED USE | 1600 SOLANO AVE
ALBANY, CA 94707

MANTLE LANDSCAPE ARCHITECTURE
2612 8TH STREET
BERKELEY CA 94710
510.927.3200
WWW.MANTLELA.COM

L0.00

KAVA MASSIH ARCHITECTS
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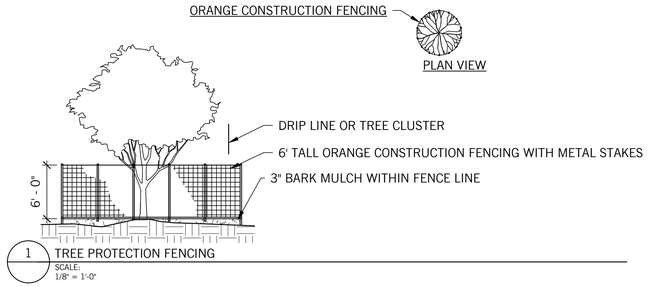
95 Federal Street I San Francisco, CA 94107
KMA PROJECT NO. Project Number

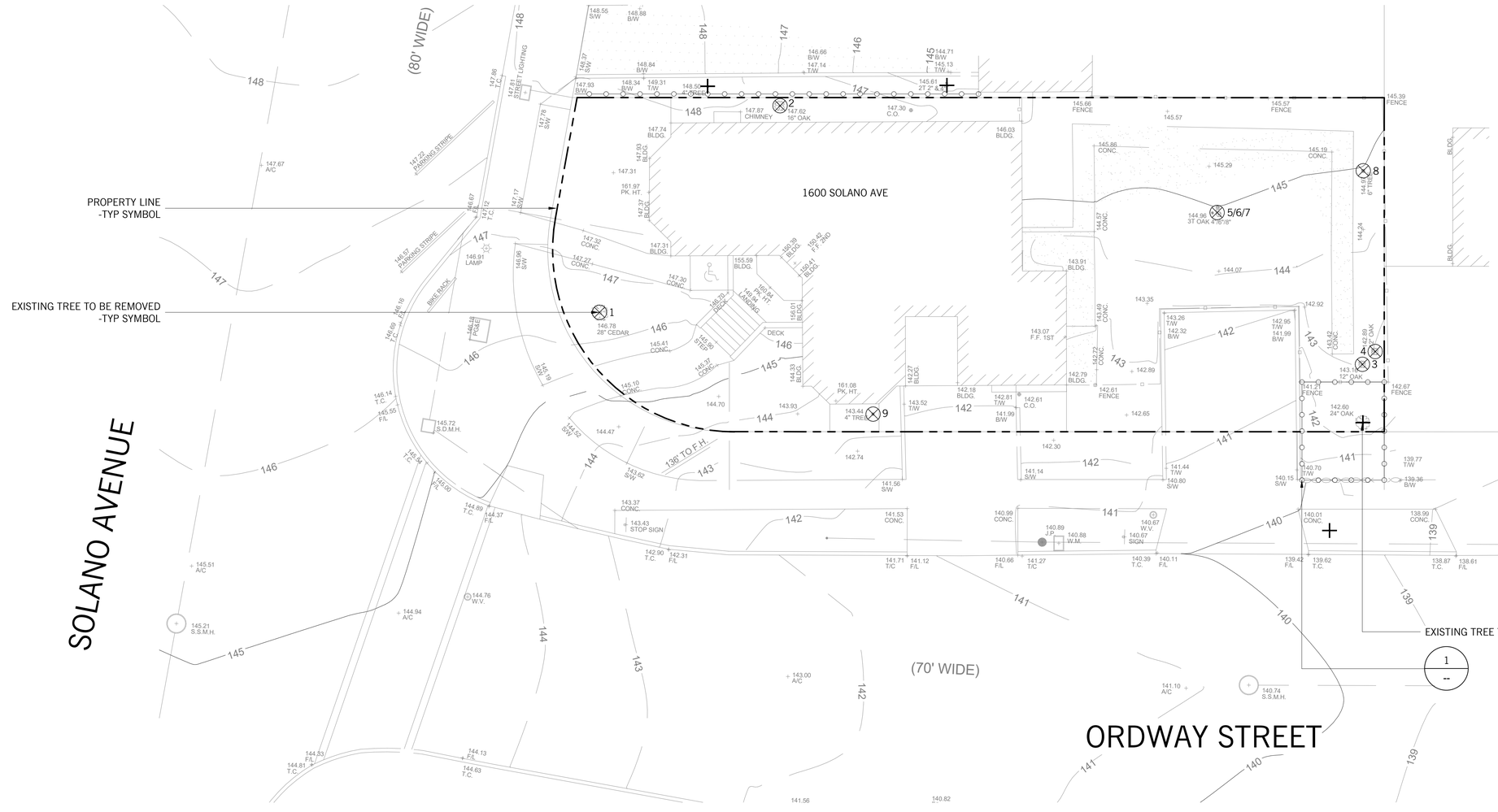
TREE REMOVAL LEGEND

NUMBER	TREE SPECIES	SIZE AT DBH
1.	CEDAR SP.	28"
2.	OAK SP.	16"
3.	OAK SP.	12"
4.	OAK SP.	12"
5.	OAK SP.	4"
6.	OAK SP.	6"
7.	OAK SP.	8"
8.	DECIDUOUS SP.	8"
9.	EVERGREEN SP.	4"

NOTE: TREE LOCATIONS AND SIZES ARE DIAGRAMMATIC ONLY



1 TREE PROTECTION FENCING
SCALE: 1/8" = 1'-0"



LANDSCAPE TREE PROTECTION AND REMOVAL PLAN

1/8" = 1'-0" (@ 22" x 34")
Issue Date

2/25/2021 5:54:53 PM

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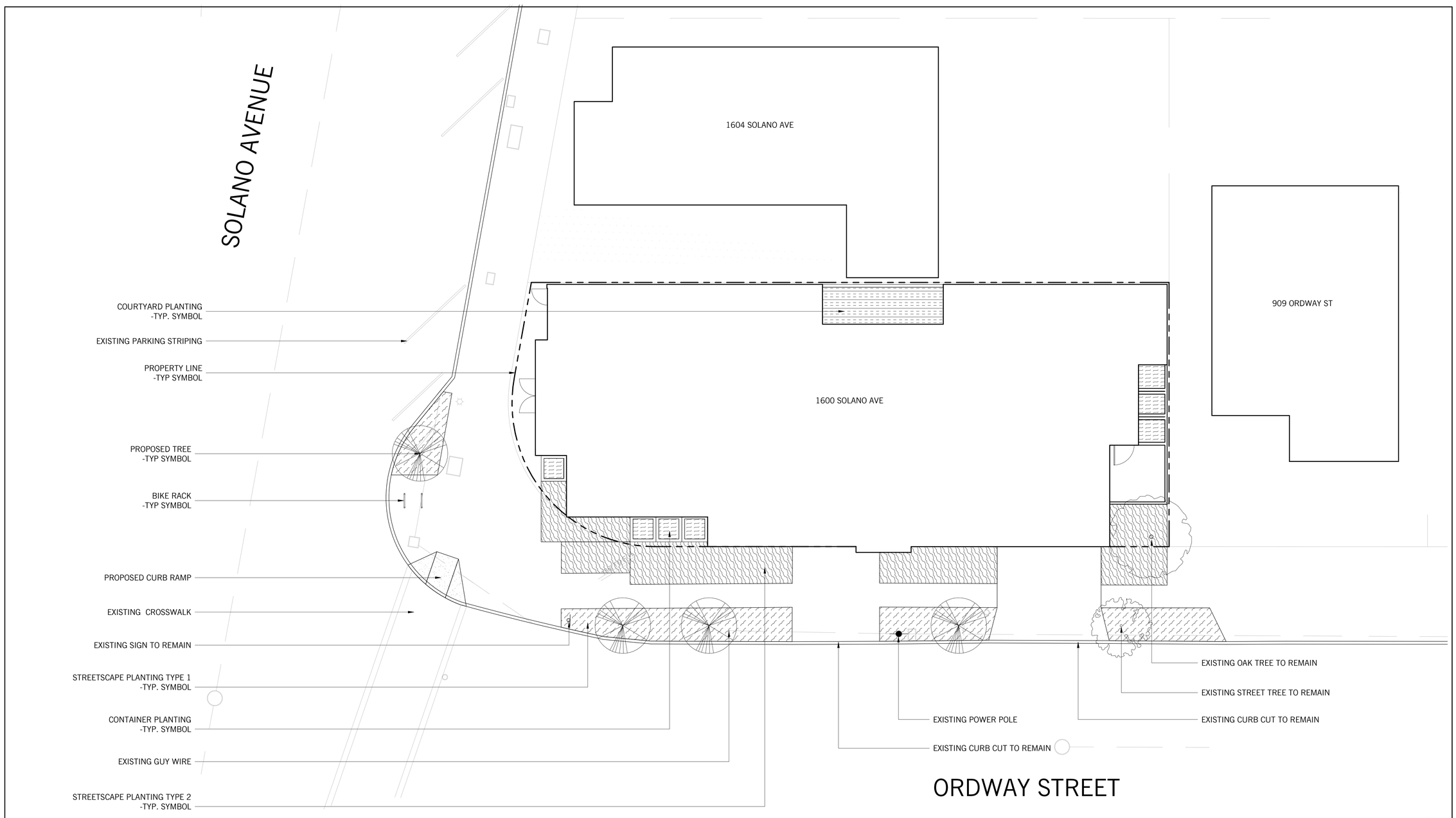
KMA PROJECT NO. Project Number

L0.01



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LANDSCAPE PLANTING PLAN - GROUND LEVEL

1/8" = 1'-0" (@ 22" x 34")
Issue Date

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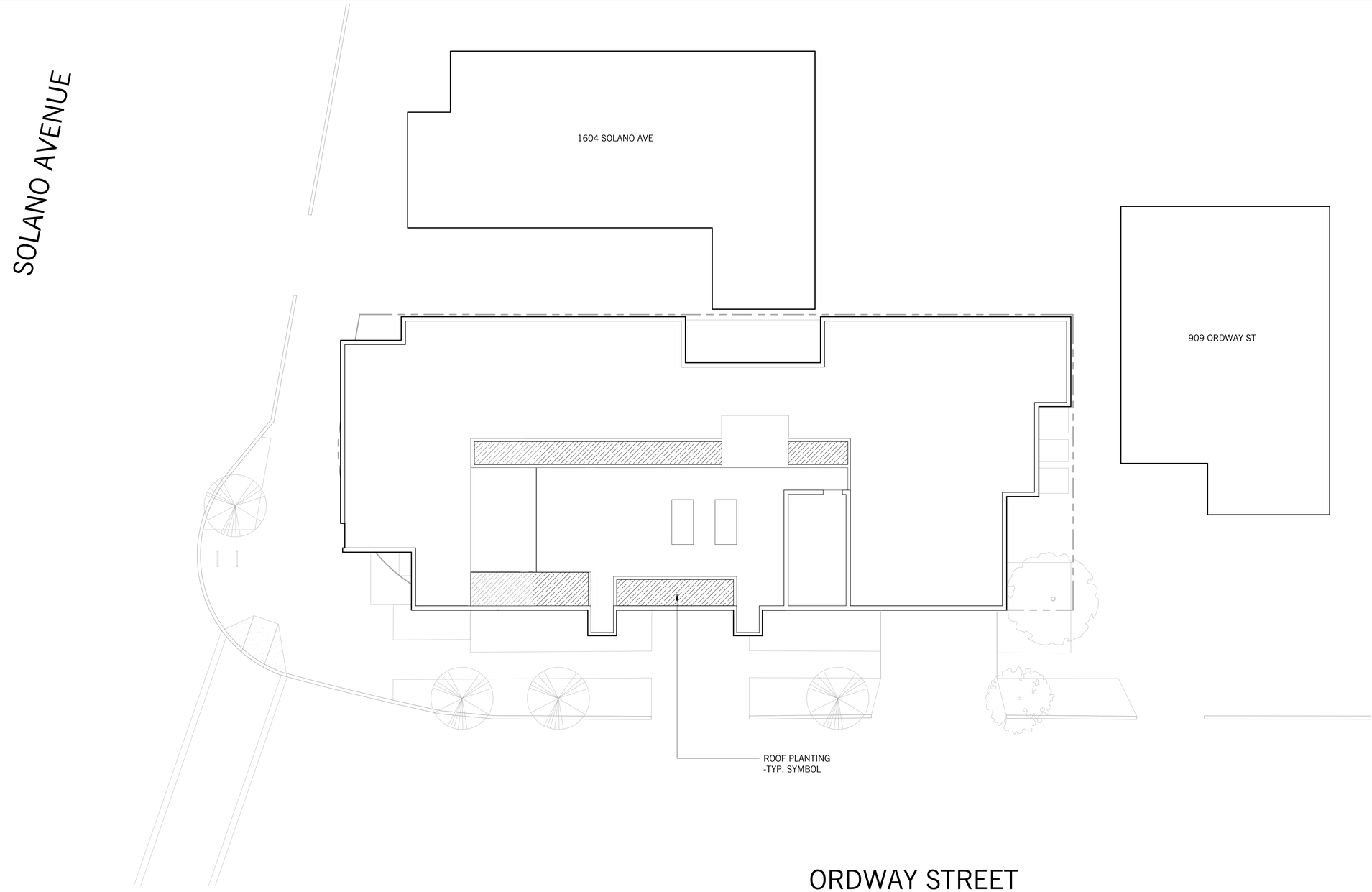
KMA PROJECT NO. Project Number

L5.01



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LANDSCAPE PLANTING PLAN - ROOF LEVEL

1/8" = 1'-0" (@ 22" x 34")
Issue Date

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L5.02

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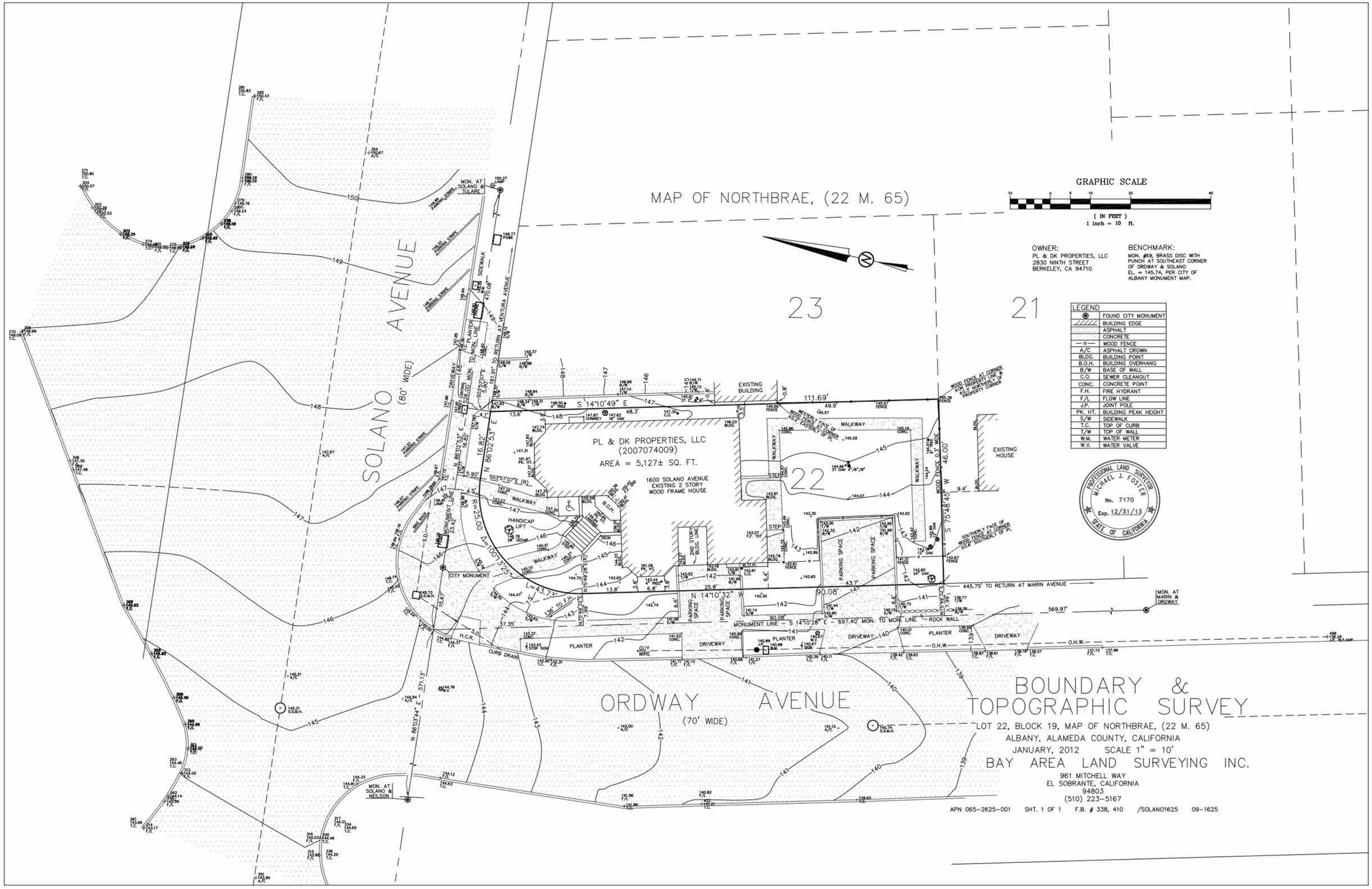

BOUNDARY & TOPOGRAPHIC SURVEY

LOT 22, BLOCK 19, MAP OF NORTHBRAE, (22 M. 65)
ALBANY, ALAMEDA COUNTY, CALIFORNIA
JANUARY, 2012 SCALE 1" = 10'

BAY AREA LAND SURVEYING INC.
961 MITCHELL WAY
EL SOBRANTE, CALIFORNIA
94803
(510) 223-5167

APN 065-2625-001 SHT. 1 OF 1 F.B. # 338, 410 /SOLANO1625 09-1625

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SURVEY

(@ 22" x 34")
08/10/2021

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A1.0

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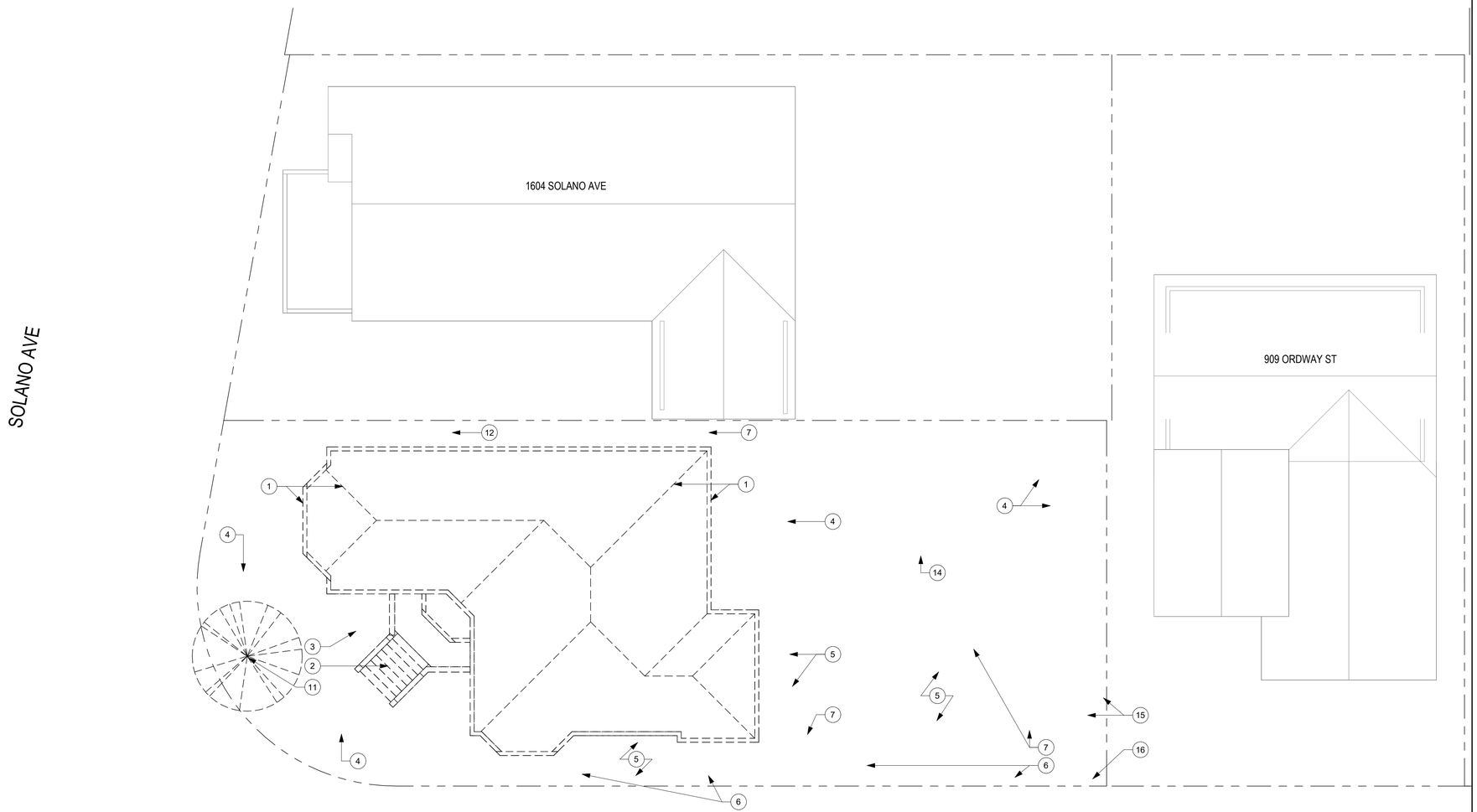
KMA PROJECT NO. 2018

DEMOLITION KEYNOTES

1. REMOVE (E) BUILDING (R00F, WALLS, FLOORS), SHOWN AS DASHED
2. REMOVE (E) CONC. STAIRS, SHOWN AS DASHED
3. REMOVE (E) LIFT, SHOWN AS DASHED
4. REMOVE (E) CONC. WALKWAY, SHOWN AS DASHED
5. REMOVE (E) CONC. PAD, SHOWN AS DASHED
6. REMOVE (E) CONC. CURB, SHOWN AS DASHED
7. REMOVE (E) WOOD FENCE
11. REMOVE (E) 28" CEDER
12. REMOVE (E) 16" OAK
14. REMOVE (E) THREE TRUNK 4" / 6" / 8" OAK
15. REMOVE (E) 12" OAK
16. KEEP (E) 24" OAK



EXISTING FLOOR PLAN / DEMOLITION PLAN

1/8" = 1'-0" (@ 22" x 34")
08/10/2021

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A1.1

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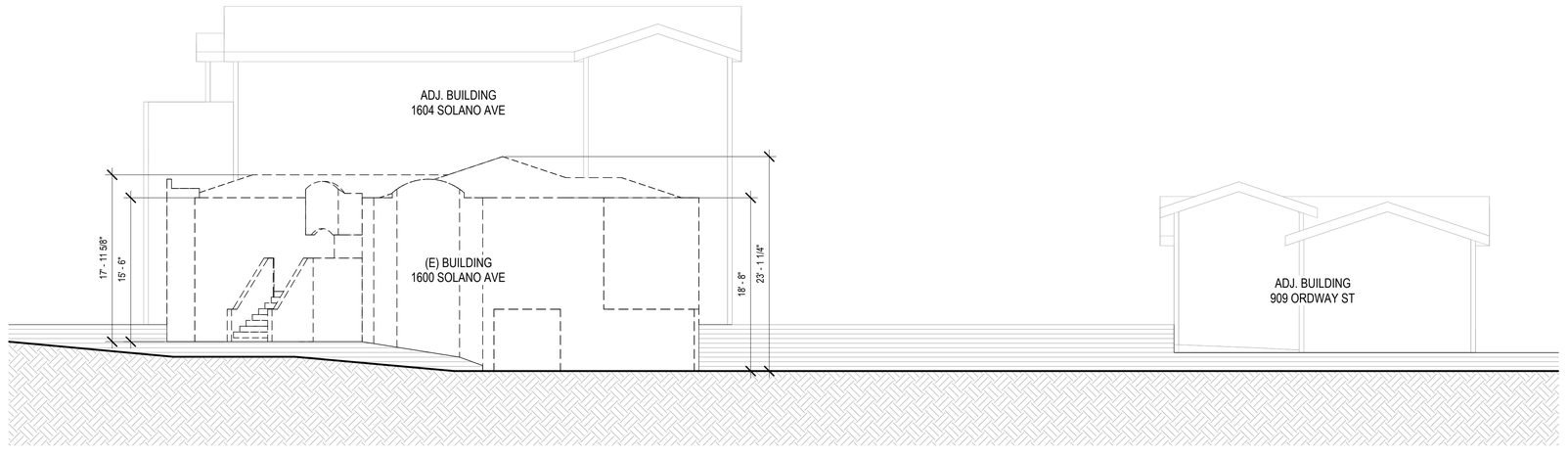

EXISTING ELEVATION- WEST 1
1/8" = 1'-0"

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EXISTING ELEVATION - WEST

1/8" = 1'-0" (@ 22" x 34")
08/10/2021

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A1.2

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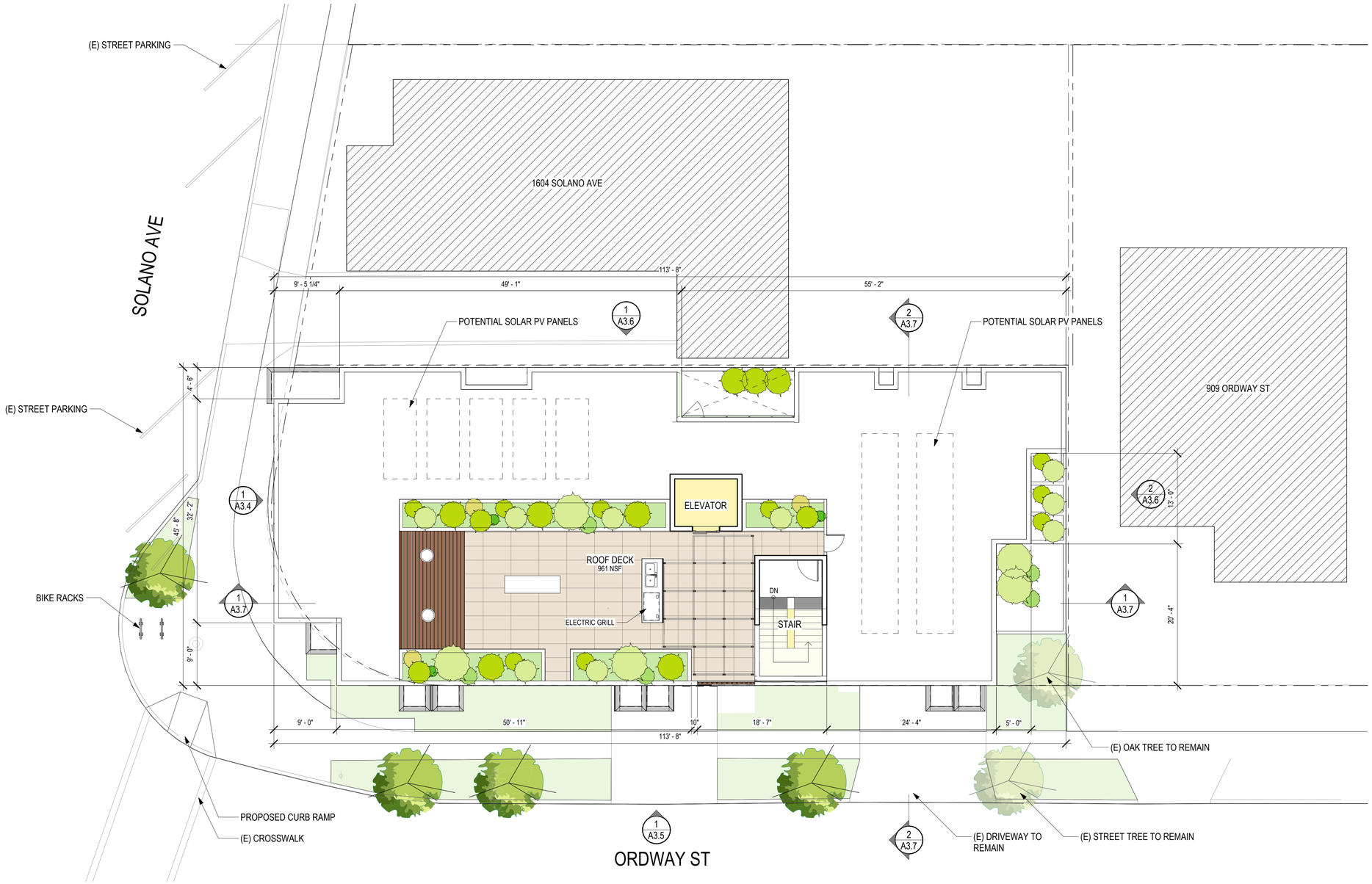

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SITE PLAN/ROOF PLAN

1/8" = 1'-0" (@ 22" x 34")
08/10/2021

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A1.3

KAVA MASSIH ARCHITECTS
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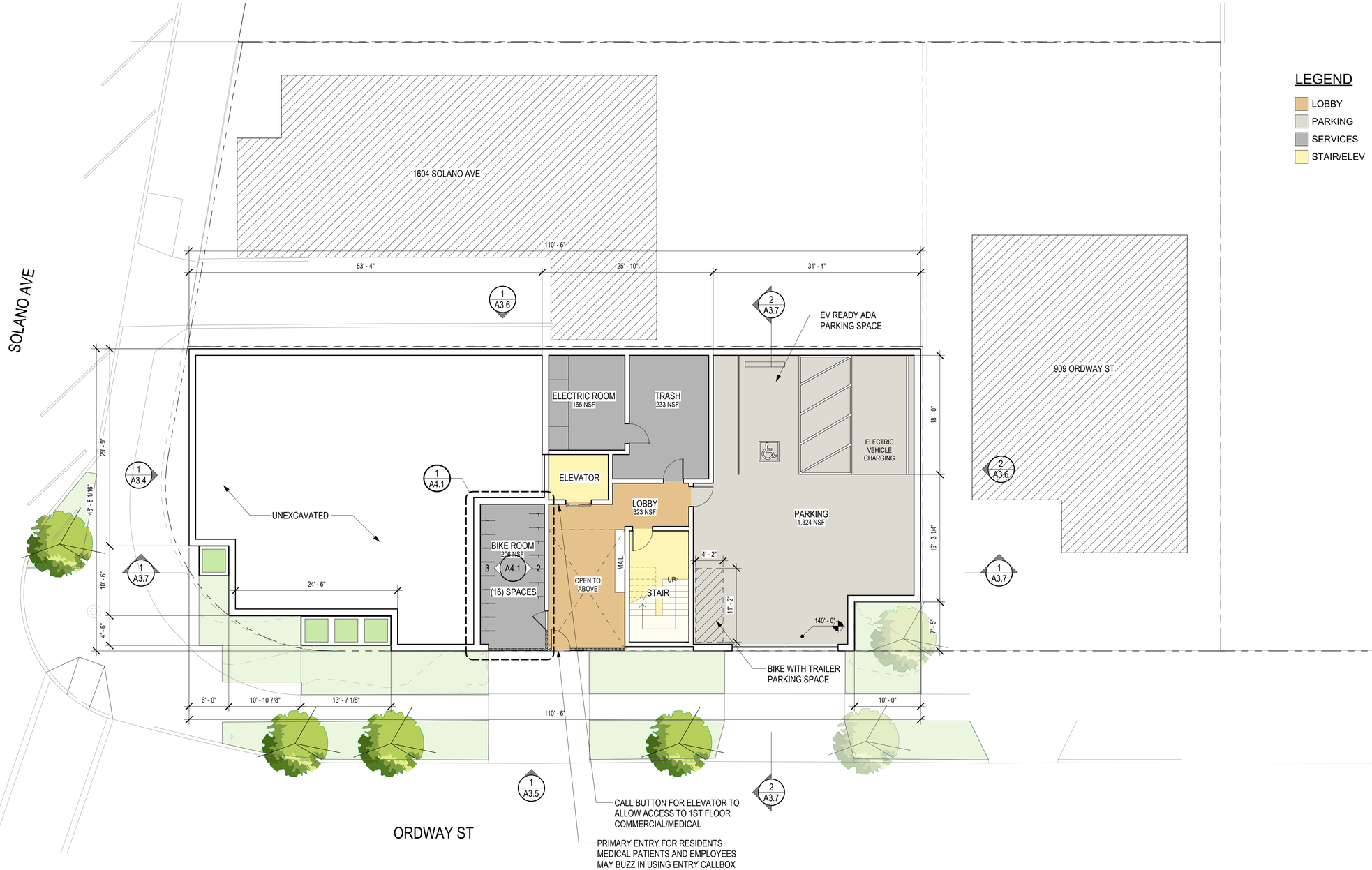

BASEMENT FLOOR PLAN

1/8" = 1'-0" (@ 22" x 34")
08/10/2021

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1600 SOLANO MIXED USE | 1600 SOLANO AVE
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A2.0

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95 Federal Street I San Francisco, CA 94107
KMA PROJECT NO. 2018

LEGEND

- CIRCULATION/ LOUNGE
- COMMERCIAL
- CIRCULATION
- COURTYARD
- SERVICES
- STAIR/ELEV

1ST FLOOR PLAN

1/8" = 1'-0" (@ 22" x 34")
08/10/2021

4/4/2022 1:43:52 PM

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A2.1

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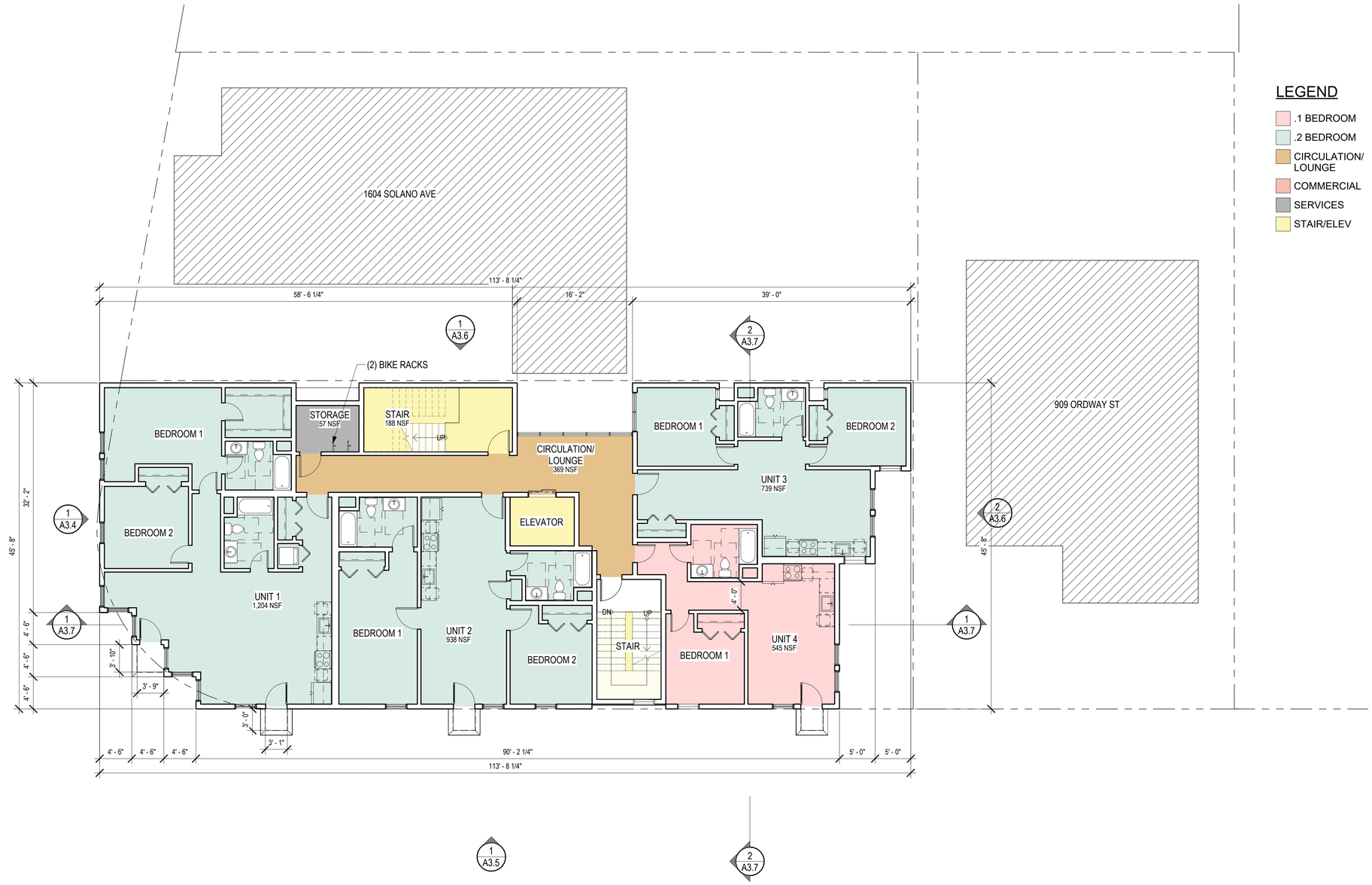

LEGEND

- .1 BEDROOM
- .2 BEDROOM
- CIRCULATION/ LOUNGE
- COMMERCIAL
- SERVICES
- STAIR/ELEV

2ND FLOOR PLAN

1/8" = 1'-0" (@ 22" x 34")
08/10/2021

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A2.2

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KMA PROJECT NO. 2018

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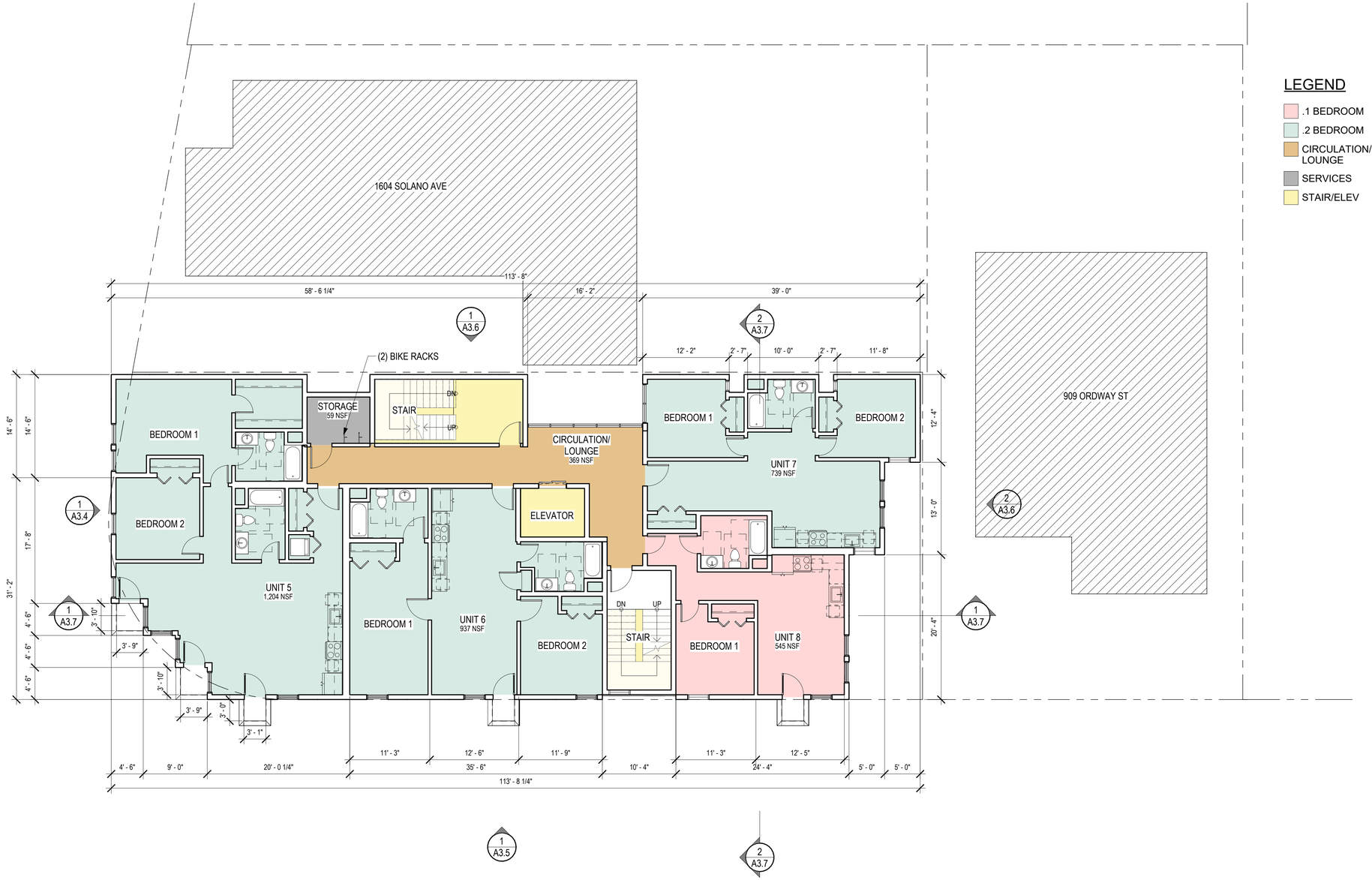

LEGEND

- .1 BEDROOM
- .2 BEDROOM
- CIRCULATION/ LOUNGE
- SERVICES
- STAIR/ELEV

3RD FLOOR PLAN

1/8" = 1'-0" (@ 22" x 34")
08/10/2021

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N

A2.3

KAVA MASSIH ARCHITECTS
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KMA PROJECT NO. 2018

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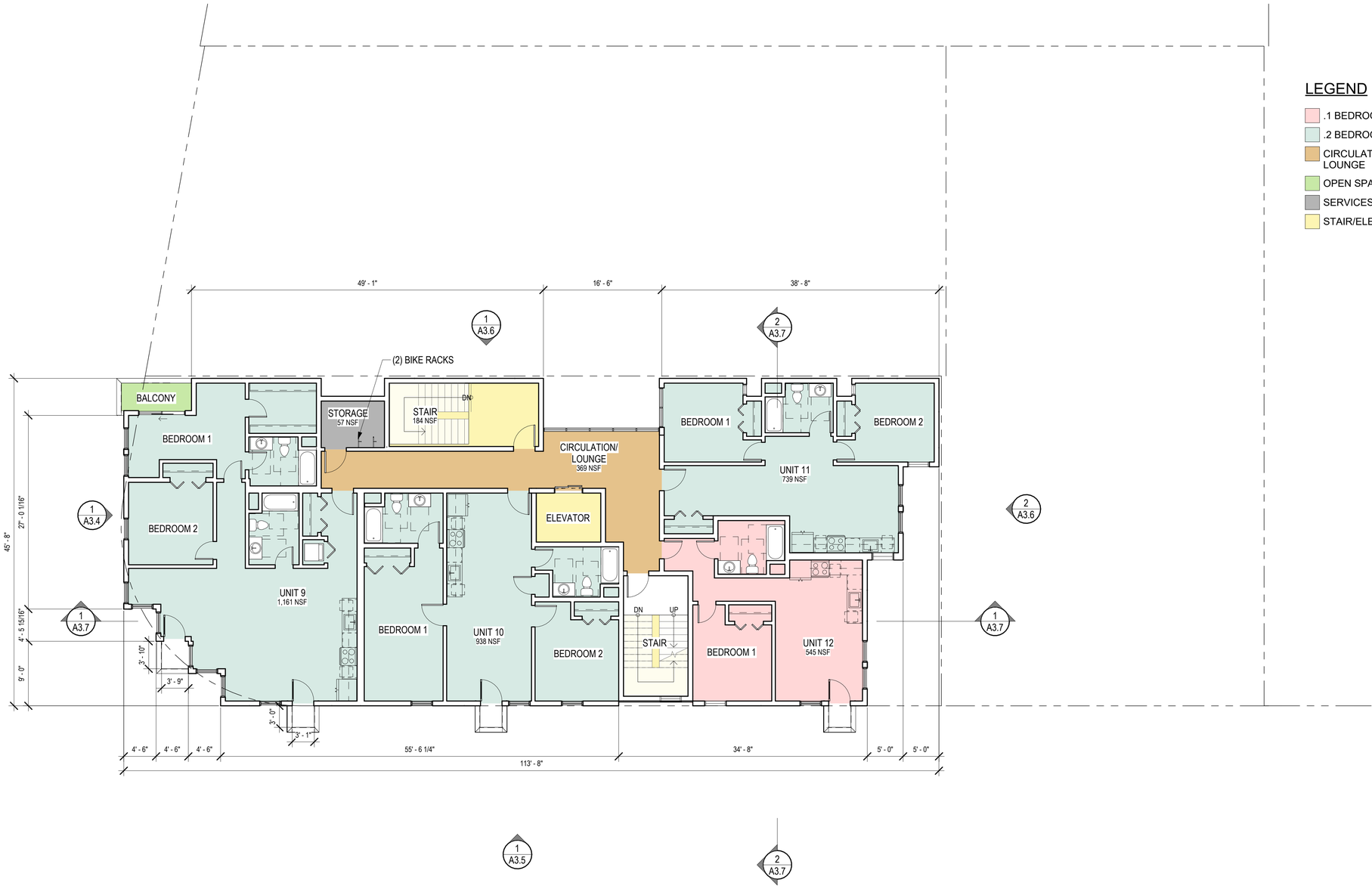

4TH FLOOR PLAN

1/8" = 1'-0" (@ 22" x 34")
08/10/2021

1600 SOLANO MIXED USE | 1600 SOLANO AVE
ALBANY, CA 94707

A2.4

KAVA MASSIH ARCHITECTS
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95 Federal Street I San Francisco, CA 94107
KMA PROJECT NO. 2018

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AXONOMETRIC VIEW

(@ 22" x 34")
08/10/2021

1600 SOLANO MIXED USE | 1600 SOLANO AVE
ALBANY, CA 94707

A3.0

KAVA MASSIH ARCHITECTS
920 Grayson Street I Berkeley, CA 94710
95 Federal Street I San Francisco, CA 94107
KMA PROJECT NO. 2018

4/4/2022 1:44:11 PM

AXONOMETRIC VIEW

(@ 22" x 34")
08/10/2021

4/4/2022 1:44:21 PM

1600 SOLANO MIXED USE | 1600 SOLANO AVE
ALBANY, CA 94707

A3.0B

KAVA MASSIH ARCHITECTS
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95 Federal Street I San Francisco, CA 94107
KMA PROJECT NO. 2018

STREET PERSPECTIVE LOOKING SW ON SOLANO AND ORDWAY

(@ 22" x 34")
08/10/2021

1600 SOLANO MIXED USE | 1600 SOLANO AVE
ALBANY, CA 94707

A3.1

KAVA MASSIH ARCHITECTS
920 Grayson Street I Berkeley, CA 94710
95 Federal Street I San Francisco, CA 94107
KMA PROJECT NO. 2018

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VIEW OF ENTRY ON SOLANO AVE 1

VIEW OF ENTRY ON ORDWAY ST 2

4/4/2022 1:44:42 PM

PERSPECTIVE VIEWS OF ENTRIES

(@ 22" x 34")
08/10/2021

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ALBANY, CA 94707

A3.2

KAVA MASSIH ARCHITECTS
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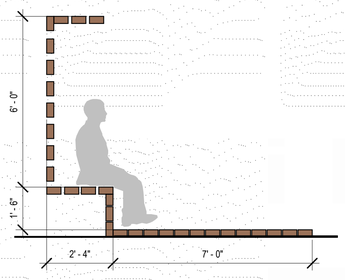
95 Federal Street I San Francisco, CA 94107
KMA PROJECT NO. 2018



SECTION THRU BENCH 2
3/8" = 1'-0"

VIEW OF ROOF DECK 1

4/4/2022 1:44:54 PM

VIEW OF ROOF DECK

3/8" = 1'-0" (@ 22" x 34")
08/10/2021

1600 SOLANO MIXED USE | 1600 SOLANO AVE
ALBANY, CA 94707

A3.3

KAVA MASSIH ARCHITECTS
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95 Federal Street I San Francisco, CA 94107
KMA PROJECT NO. 2018

ELEVATION - NORTH 1
1/8" = 1'-0"

NORTH ELEVATION

1/8" = 1'-0" (@ 22" x 34")
08/10/2021

4/4/2022 1:45:04 PM

1600 SOLANO MIXED USE | 1600 SOLANO AVE
ALBANY, CA 94707

A3.4

KAVA MASSIH ARCHITECTS
920 Grayson Street I Berkeley, CA 94710
95 Federal Street I San Francisco, CA 94107
KMA PROJECT NO. 2018

ELEVATION - WEST 1
1/8" = 1'-0"

WEST ELEVATION

1/8" = 1'-0" (@ 22" x 34")
08/10/2021

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A3.5

KAVA MASSIH ARCHITECTS
920 Grayson Street I Berkeley, CA 94710
95 Federal Street I San Francisco, CA 94107
KMA PROJECT NO. 2018

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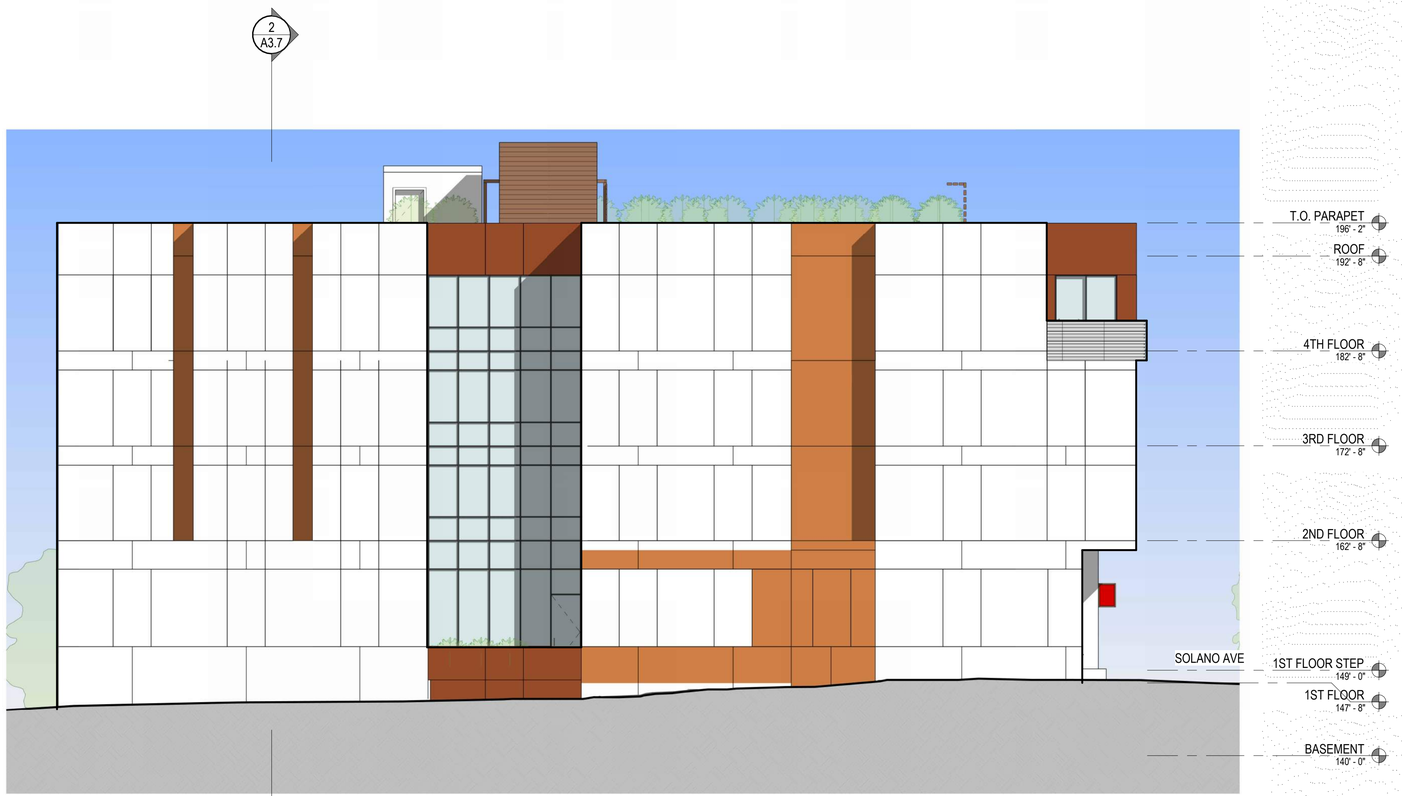
ELEVATION - SOUTH 2
1/8" = 1'-0"



ELEVATION - EAST 1
1/8" = 1'-0"

EAST & SOUTH ELEVATIONS

1/8" = 1'-0" (@ 22" x 34")
08/10/2021

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A3.6

KAVA MASSIH ARCHITECTS
920 Grayson Street I Berkeley, CA 94710
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KMA PROJECT NO. 2018

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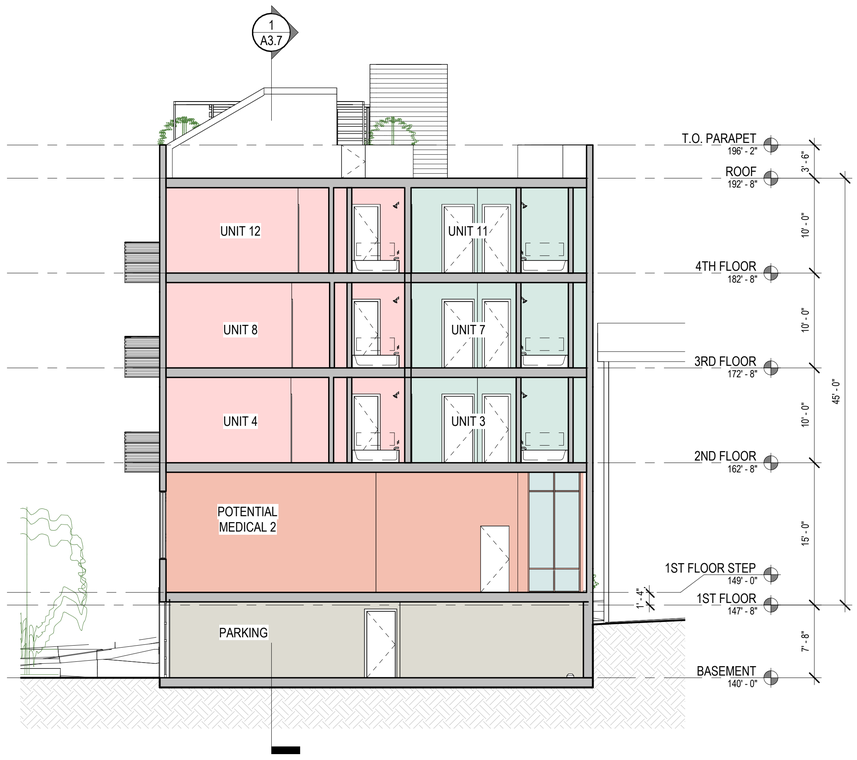
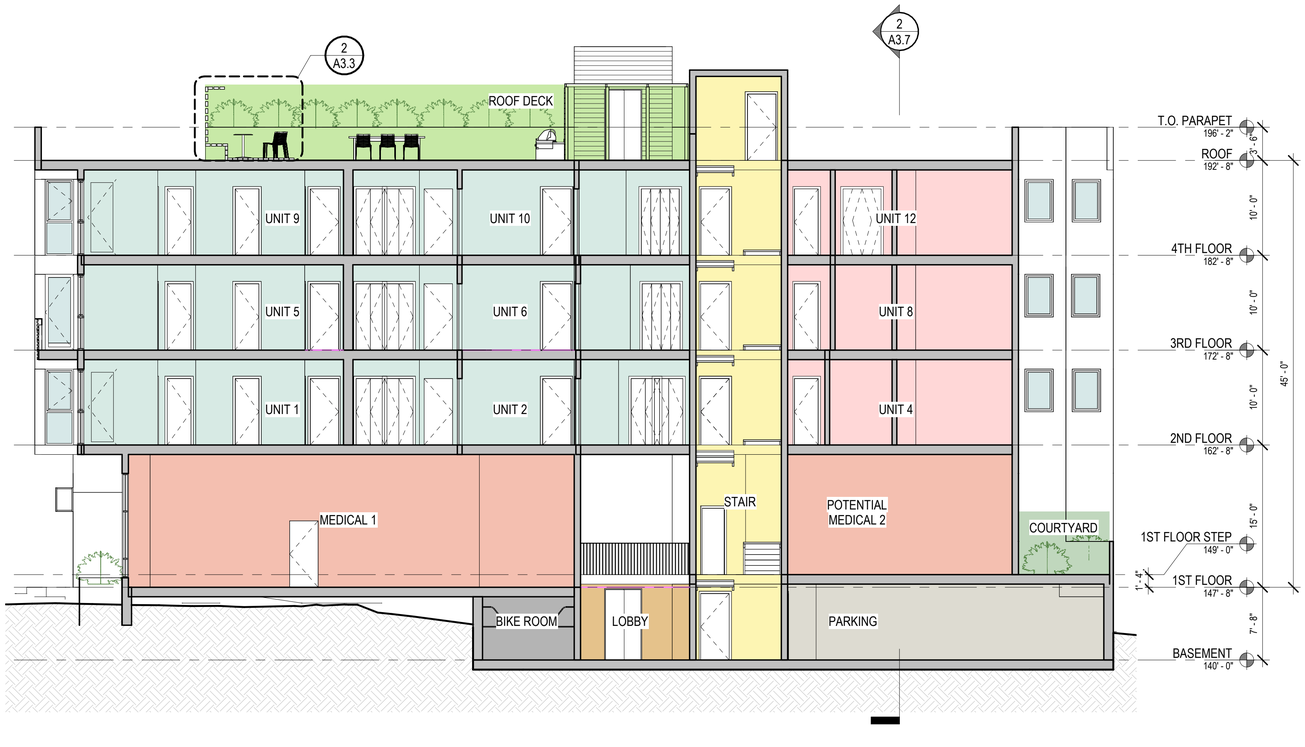


NORTH-SOUTH SECTION 2
1/8" = 1'-0"
2



EAST-WEST SECTION 1
1/8" = 1'-0"
1

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SECTION

1/8" = 1'-0" (@ 22" x 34")
08/10/2021

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A3.7

KAVA MASSIH ARCHITECTS
920 Grayson Street I Berkeley, CA 94710
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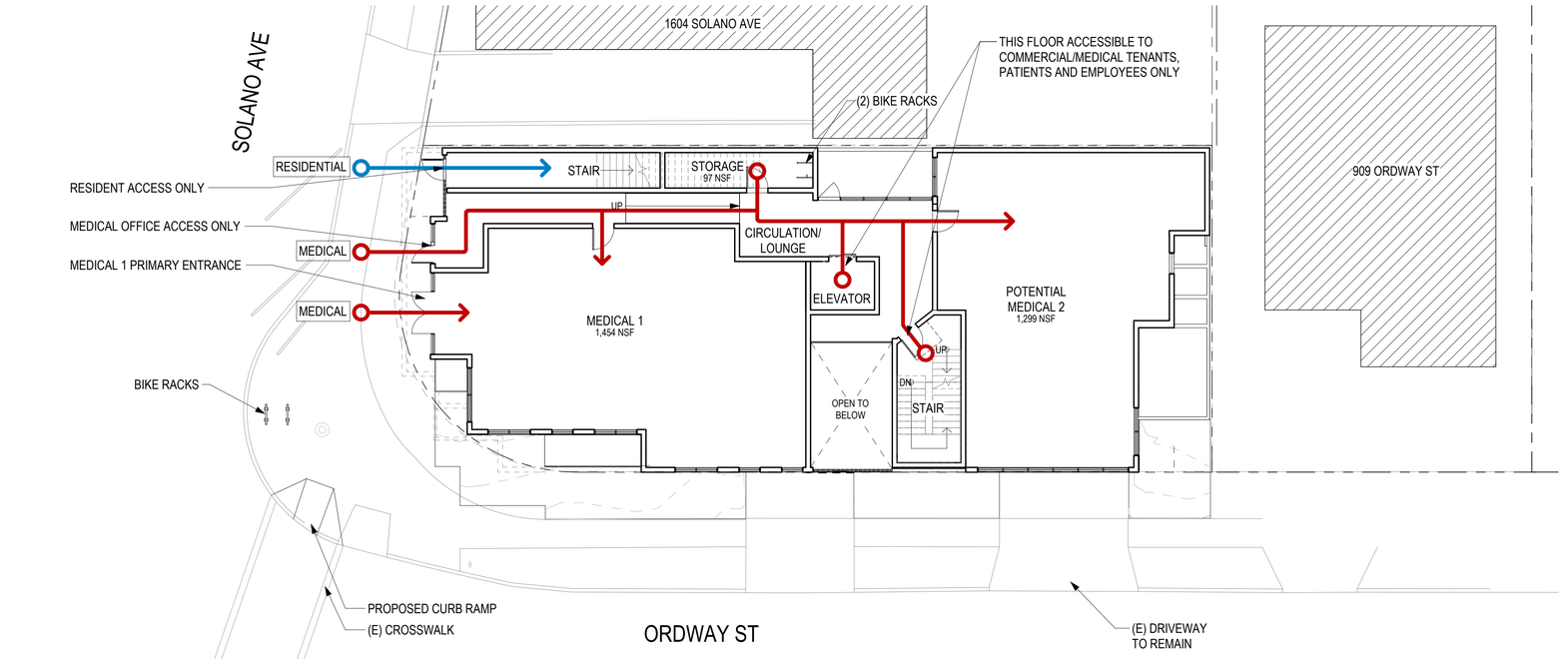
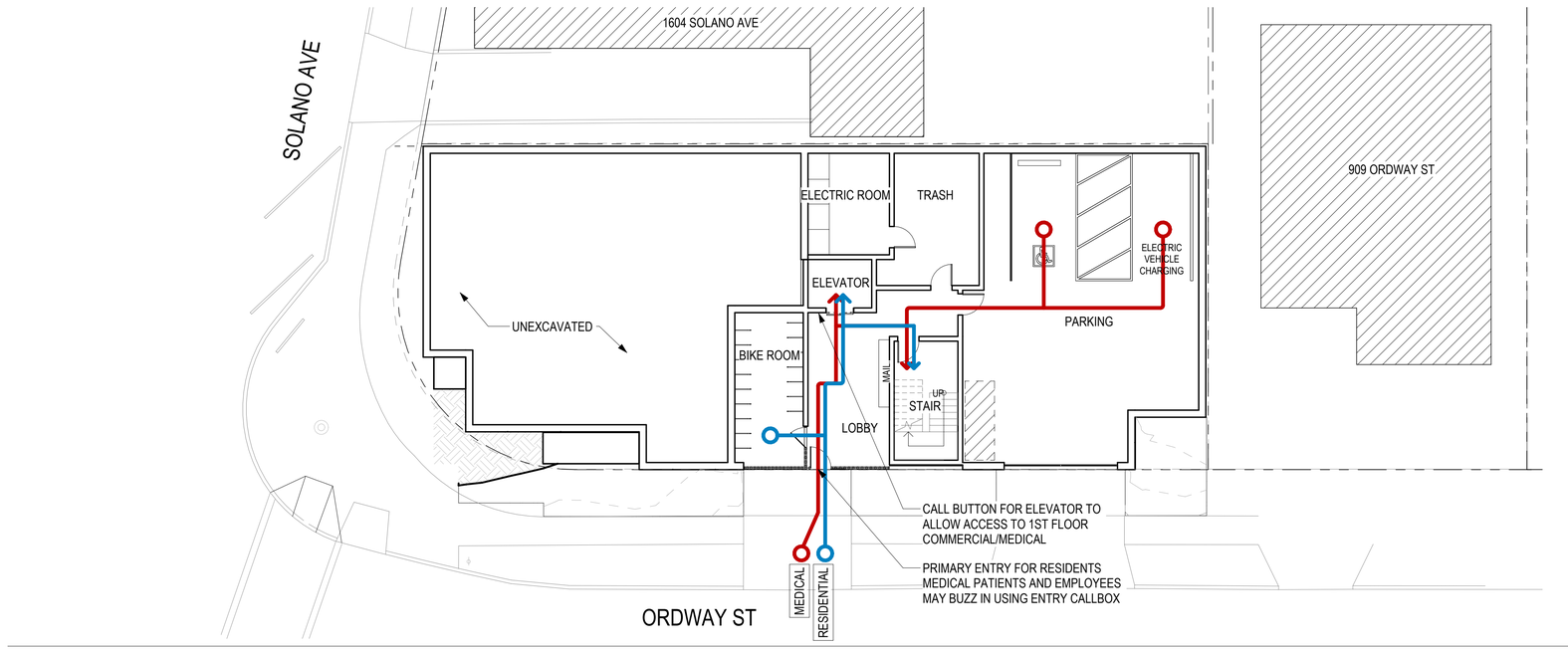
KMA PROJECT NO. 2018



1ST FLOOR
3/32" = 1'-0"
2



BASEMENT
3/32" = 1'-0"
1

RESIDENTIAL AND COMMERCIAL CIRCULATION DIAGRAM

3/32" = 1'-0" (@ 22" x 34")
08/10/2021

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A4.0

KAVA MASSIH ARCHITECTS
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KMA PROJECT NO. 2018

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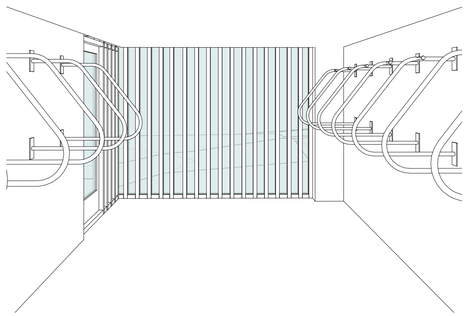
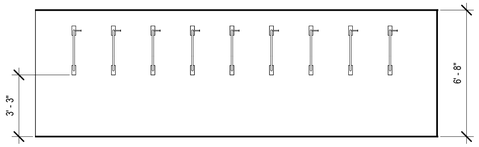
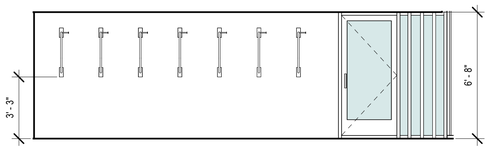


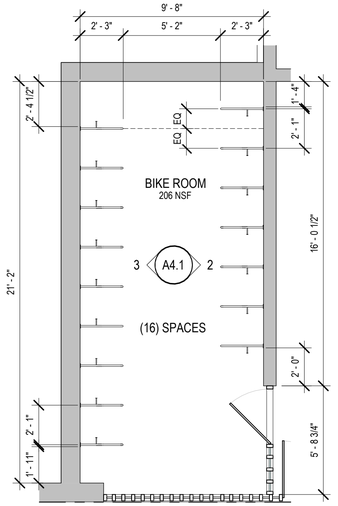
PERSPECTIVE VIEW OF BIKE ROOM 4



BIKE ROOM INTERIOR ELEVATION NORTH 3
1/4" = 1'-0"



BIKE ROOM INTERIOR ELEVATION SOUTH 2
1/4" = 1'-0"



ENLARGED BIKE ROOM PLAN 1
1/4" = 1'-0"

ENLARGED BIKE ROOM DRAWINGS

1/4" = 1'-0" (@ 22" x 34")
08/10/2021

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A4.1

KAVA MASSIH ARCHITECTS
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KMA PROJECT NO. 2018

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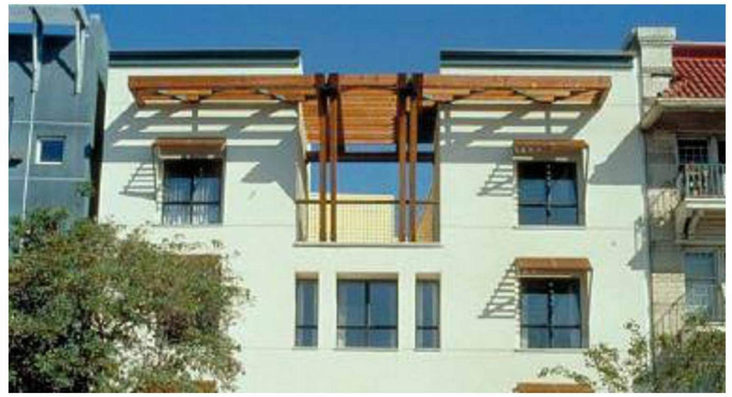
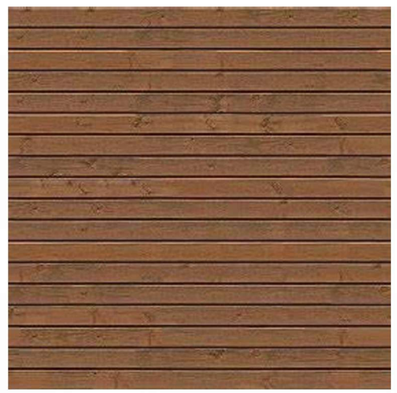
CORTEN

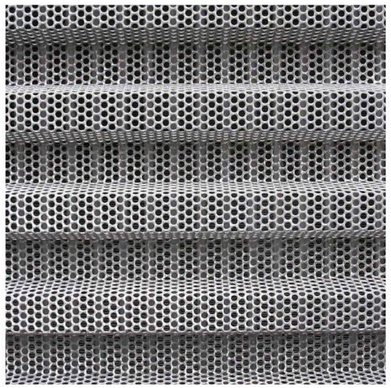
FIBER CEMENT PANELS



WOOD TRELLIS



WOOD CLADDING



PERFORATED CORRUGATED
MORIN METAL PANELS

CORRUGATED
MORIN METAL PANELS

MATERIALS AND COLORS

1/8" = 1'-0" (@ 22" x 34")
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4/4/2022 1:46:09 PM

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A10.1

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